



ROCKWALL CITY COUNCIL MEETING

Monday, April 15, 2024 - 5:00 PM

City Hall Council Chambers - 385 S. Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Executive Session

The City of Rockwall City Council will recess into executive session to discuss the following matter as authorized by chapter 551 of the Texas government code:

1. Discussion regarding status of *City of Rockwall vs. Richard Brooks & Lake Pointe Health Science Center*, pursuant to §551.071 (Consultation with Attorney)
2. Discussion regarding Economic Development prospects, projects, and/or incentives, pursuant to §Section 551.087 (Economic Development)

III. Adjourn Executive Session

IV. Reconvene Public Meeting (6:00 P.M.)

V. Invocation and Pledge of Allegiance - Councilmember McCallum

VI. Proclamations / Awards / Recognitions

1. National Public Safety Telecommunicator Week Proclamation (April 14 - April 20)

VII. Appointment Items

1. Appointment with Planning & Zoning Commission representative to discuss and answer any questions regarding planning-related cases on the agenda.

VIII. Open Forum

This is a time for anyone to address the Council and public on any topic not already listed on the agenda or set for a public hearing. To speak during this time, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. Per Council policy, public comments should be limited to three (3) minutes out of respect for others' time. On topics raised during Open Forum, please know Council is not permitted to respond to your comments during the meeting since the topic has not been specifically listed on the agenda (the Texas Open Meetings Act requires that topics of discussion/deliberation be posted on an agenda not less than 72 hours in advance of the Council meeting). This, in part, is so that other citizens who may have the same concern may also be involved in the discussion.

IX. Take Any Action as a Result of Executive Session

X. Consent Agenda

These agenda items are routine/administrative in nature, have previously been discussed at a prior City Council meeting, and/or they do not warrant Council deliberation. If you would like to discuss one of these items, please do so during "Open Forum."

1. Consider approval of the minutes from the April 1, 2024 city council meeting, and take any action necessary.
2. Consider approval of an **ordinance** for the temporary reduction of the current 70 miles per hour speed limit along IH-30 to 65 miles per hour from MP 69.27 to MP 71.23 (approximately 300 feet east of T.L. Townsend to the eastern City limits) during (re)construction of IH-30, and take any action necessary. **(2nd reading)**
3. Consider approval of an **ordinance** amending the Code of Ordinances in Ch. 44 "Utilities," Article V. "Water," Division 6 and Division 7 to combine and update the Water Conservation Plan and the Water Resource and Emergency Management Plan, and take any action necessary. **(2nd reading)**
4. **P2024-011** - Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LCC for the approval of a Final Plat for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.
5. **P2024-009** - Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Final Plat for Lots 1-8, Block A, People Tract Addition being a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.
6. Consider authorizing the City Manager to execute a contract with B&B Concrete for Harry Myers parking lot expansion in the amount of \$59,900 to be funded by park land dedication fees, and take any action necessary.

XI. Public Hearing Items

If you would like to speak regarding an item listed below, please turn in a (yellow) "Request to Address City Council" form to the City Secretary either before the meeting or as you approach the podium. The Mayor or Mayor Pro Tem will call upon you to come forth at the proper time. Please limit your comments to no more than three minutes.

1. **Z2024-010** - Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of an **ordinance** for a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary **(1st Reading)**.
2. **Z2024-011** - Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of an **ordinance** for a Specific Use Permit (SUP) to allow a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary **(1st Reading)**.

3. **Z2024-012** - Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of an **ordinance** for a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary **(1st Reading)**.
4. **Z2024-013** - Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of an **ordinance** for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary **(1st Reading)**.
5. **Z2024-014** - Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary **(1st Reading)**.
6. **Z2024-015** - Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary **(1st Reading)**.

XII. Action Items

If your comments are regarding an agenda item below, you are asked to speak during Open Forum.

1. Hear, discuss and consider a presentation from Rockwall County Commissioner Dana Macalik (Pct. 2) concerning Rockwall County's Strategic Plan, and take any action necessary.
2. Discuss and consider approval of a resolution adopting the Parks & Recreation Board's recommendation for the naming of 4 acres of dedicated park land as "Greenes Lake Park," and take any action necessary.

XIII. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Teague, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 12th day of April 2024, at 5 PM and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Teague, City Secretary

Date Removed

Rockwall,



Texas

Proclamation

Whereas, each year the second week in April is designated as “National Public Safety Telecommunications Week” in the State of Texas; and

Whereas, the week is set aside by the State to recognize the diligent efforts of 9-1-1 operators and other communications specialists who serve our communities; and

Whereas, men and women who work in this capacity are “unseen first responders,” providing critical assistance to callers in times of great need; and

Whereas, 9-1-1 dispatchers work in an environment that is often fast-paced and stressful, being called upon to utilize their specialized skills and training to make split second decisions, which, at times, could mean the difference between life and death; and

Whereas, the City of Rockwall would like to recognize and applaud its own dispatch personnel for the stellar job each of them performs to ensure the safety and wellbeing of our residents.

Now, Therefore, I, Trace Johannesen, Mayor of the City of Rockwall, Texas, do hereby proclaim **April 14 – 20, 2024** as

PUBLIC SAFETY TELECOMMUNICATORS WEEK

in the City of Rockwall and urge all citizens to take time to thank these staff members for their dedication and hard work towards protecting and serving both our citizens as well as our Police and Fire Department personnel.

In Witness Whereof, I hereunto set my hand and official seal this 15th day of April, 2024.

Trace Johannesen, Mayor

ROCKWALL CITY COUNCIL MEETING

Monday, April 1, 2024 - 5:30 PM

City Hall Council Chambers - 385 S. Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

Mayor Pro Tem Anna Campbell called the meeting to order at 5:30 p.m. Present were Mayor Pro Tem Anna Campbell and Councilmembers Sedric Thomas, Mark Moeller, Clarence Jorif, Dennis Lewis and Tim McCallum. Also present were City Manager Mary Smith and Assistant City Manager Joey Boyd. City Attorney Frank Garza and Mayor Trace Johannesen were absent from the meeting.

Mayor Pro Tem Campbell read the below-listed discussion items into the record before recessing the public meeting to go into Executive Session.

II. Executive Session

1. Discussion regarding (re)appointments to city regulatory boards and commissions, including the N. TX. Municipal Water District (NTMWD) Board, pursuant to Section, §551.074 (Personnel Matters)

III. Adjourn Executive Session

Council adjourned from Executive Session at 5:54 p.m.

IV. Reconvene Public Meeting (6:00 P.M.)

Mayor Pro Tem Campbell reconvened the public meeting at 6:00 p.m.

V. Invocation and Pledge of Allegiance - Councilmember Lewis

Councilmember Lewis delivered the invocation and led the Pledge of Allegiance.

VI. Proclamations / Awards / Recognitions

1. Child Abuse Prevention Month Proclamation
2. Theater in Our Schools Month Proclamation

Mayor Pro Tem Campbell called representatives up, one-by-one, regarding each of the above named proclamations. She then read and presented each of them.

VII. Open Forum

Mayor Pro Tem Campbell explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time.

Melba Jeffus
2606 Cypress Dr
Rockwall TX 75087

Mrs. Jeffus came forth and asked the Council to consider building a large event center for the City of Rockwall and Rockwall County. She stated as of right now there are no big venues to use for large events except the Hilton. She indicated that there is a lot of available land out on John King that would be ideal for building such events center. She stated that the City and the County need to come up with a plan. She would be willing to serve on a committee for this purpose. She suggested that such an events center could be named the Ralph M. Hall Events Center.

Ronnie Howell
434 Jordan Farms Circle (in Park Place)
Rockwall, TX

Mr. Howell came forth and shared that he personally owns a short-term rental (STR) within the city. He stated he has spoken at a previous City Council on the subject of STRs. He went to state that he emailed Ryan Miller (city's Planning Director) asking about how the City came up with the ordinance and who was involved in the process. Mr. Miller conveyed it was the City Attorney and the city staff. He wonders if any of those people (i.e. the City attorney or city staff) are experts regarding STRs, indicating that he is one because he owns one and knows how they work. He then suggested to the Council that there be a committee with STR owners and non-STR owners to meet once a month to discuss problems and figure out what legislation might work best for everybody involved. He indicated he doesn't want to be "legislated out of business" and he fears that could happen if those involved don't know anything about STRs.

Greg Oehler
207 Tanya Drive
Rockwall, TX 75087

Mr. Ohler came forth and stated he respects the gentleman who owns the STR business and just spoke, and he wishes him well. He shared that these ordinance regulations that are currently being considered and adopted have been in development for quite some time. A lot of work has been put into this process. He shared that he is a residential property owner who is surrounded by STRS (there are three in a row at the top of his street - one that is 250-500 ft. away - aka "The Party House" (he called it) - and one popping up off of Ridge Road). He shared that homeowners are adversely affected by the operation of the "party house" because trash flows down the hill from the other houses. He pleaded for the Council to go ahead and pass this ordinance. Mr. Oehler stated would love to see a committee of both owner and non-owners talking about STRs and collectively looking for long-term resolutions. He expressed that regulations on STRs are needed now because there are problems now. He believes it is like the "Wild West" out there. He urged Council to not delay and to not kick this down the street. He

urged Council to adopt the ordinance and provide homeowners with relief from the problems that are going on right now.

There being no one else wishing to come forth and speak at this time, Mayor Pro Tem Campbell closed Open Forum.

VIII. Take Any Action as a Result of Executive Session

Councilmember Jorif made a motion to reappoint Rick Crowley to serve an additional 2-year term on the North Texas Municipal Water District (NTMWD) Board. Councilmember Lewis seconded the motion, which passed by a vote of 6 ayes with 1 absent (Johannesen).

IX. Consent Agenda

1. Consider approval of the minutes from the March 18, 2024, city council meeting, and take any action necessary.
2. **Z2024-006** - Consider approval of an **ordinance** for a Text Amendment to Article 04, Permissible Uses, and Article 13, Definitions, of the Unified Development Code (UDC) and to establish Chapter 13, Rental Housing, of the Municipal Code of Ordinances for the purpose of creating requirements for Short-Term Rentals, and take any action necessary. **(2nd Reading)**
3. Consider approval of an **ordinance** for the temporary reduction of the current 70 miles per hour speed limit along IH-30 to 65 miles per hour from MP 69.27 to MP 71.23 (approximately 300 feet east of T.L. Townsend to the eastern City limits) during (re)construction of IH-30, and take any action necessary. **(1st reading)**
4. Consider approval of an **ordinance** amending the Code of Ordinances in Ch. 44 "Utilities," Article V. "Water," Division 6 and Division 7 to combine and update the Water Conservation Plan and the Water Resource and Emergency Management Plan, and take any action necessary. **(1st reading)**

Councilmember Jorif pulled item #2 for discussion. Councilmember Jorif then moved to approve items #1, 3 and 4. Councilmember Thomas seconded the motion. The ordinance captions were read as follows:

CITY OF ROCKWALL

ORDINANCE NO. 24-__

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL TEXAS, ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE PROVISIONS OF TRANSPORTATION CODE, SECTION 545.356 UPON INTERSTATE HIGHWAY NO. 30 OR PARTS THEREOF, WITHIN THE INCORPORATE LIMITS OF THE CITY OF ROCKWALL, TEXAS, AS SET OUT IN THIS ORDINANCE; PROVIDING A PENALTY OF A FINE NOT TO EXCEED \$200.00 FOR THE VOILATION OF THIS ORDINANCE; AND PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL

ORDINANCE NO. 24-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES IN CHAPTER 44. UTILITIES; ARTICLE V. WATER; DIVISION 6 “WATER CONSERVATION PLAN” AND DIVISION 7 “WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN” TO REPEAL DIVISION 6. AND DIVISION 7 IN THEIR ENTIRETY AND REPLACE THEM WITH ONE NEW DIVISION 6 TO REFLECT AN UPDATED WATER CONSERVATION PLAN AND AN UPDATED WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED ON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING AN EFFECTIVE DATE.

The motion to approve passed by a vote of 6 ayes with 1 absence (Johannesen).

Regarding Consent Agenda item #2, Councilmember Jorif shared that he has done some additional research based on comments that were made at the last meeting when this item was previously addressed. Councilmember Jorif made a motion to approve the ordinance but he is going to request that staff review the STR regulations and look into adding an addendum regarding the prohibition of rentals to sex offenders. He stated that any residents within the City of Rockwall who is a sex offender is not allowed to live within 1000 ft. of parks, schools, etc. During his review of this STR ordinance, he found that there is no language in the ordinance to address sex offenders. Having had extensive conversations with other city councils in the area, our police department, and others within the community, he believes something needs to be in the ordinance regulations to address this topic because it is a safety-related concern for everyone. Adding some provisions to address sex offenders will also be a safeguard for the actual STR owners themselves.

Councilmember Thomas seconded the motion. He then sought clarification from staff regarding some of Jorif’s concerns. Since STRs are ‘single-family’ homes already, he wonders if regulations are already in place that address the (sex offender) concerns. Planning Director, Ryan Miller responded by stating that staff will need to check with the city attorney and explore what the city’s limitations of power may be regarding Jorif’s concerns. Staff and the city attorney can absolutely research and bring an amendment forward if an amendment is needed and brief the council further at time.

Councilmember McCallum also sought clarification, wanting to ensure that this ordinance will be passed this evening, and it will go into effect, and any additional and related regulations would be considered as possible amendments that staff would bring back at a later date and time. Mr. Miller stated confirmed this to be true. Councilmember McCallum indicated he does not want to delay adopting this ordinance.

The ordinance caption was then read as follows:

CITY OF ROCKWALL

ORDINANCE NO. 24-10

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE MUNICIPAL CODE OF ORDINANCES AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF

ROCKWALL, AS HERETOFORE AMENDED, BY CREATING CHAPTER 13, RENTAL HOUSING, OF THE MUNICIPAL CODE OF ORDINANCES AND AMENDING ARTICLE 04, PERMISSIBLE USES, AND ARTICLE 13, DEFINITIONS, OF THE UNIFIED DEVELOPMENT CODE (UDC) AS DEPCITED IN EXHIBITS 'A', 'B', & 'C' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion to approve Consent Agenda item #2 passed by a vote of 6 ayes with 1 absence (Johannesen).

X. Public Hearing Items

- 1. Z2024-003** - Hold a public hearing to discuss and consider a request by Michael Twichell of Michael F. Twichell, LP on behalf of Jim Duggan of NEC John King & 552, LP for the approval of an **ordinance** for a Zoning Change and PD Development Plan amending Planned Development District 74 (PD-74) [*Ordinance No. 17-60*] being a 17.3750-acre portion of a larger 405.184-acre Planned Development District situated within the J. Strickland Survey, Abstract No. 187; T. R. Bailey Survey, Abstract No. 30; and, J. Simmons Survey, Abstract No. 190, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for limited General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (BY-OV) District, generally located at the northeast corner of the intersection of John King Boulevard and FM-552, and take any action necessary **(1st Reading)**.

Mayor Pro Tem Campbell stated that this applicant sent a notice requesting to withdraw this case. Councilmember Thomas moved to approve the applicant's request to withdraw the case. Councilmember Moeller seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

XI. Action Items

- 1.** Discuss and consider filling a vacant seat on the city's Main Street Advisory Board, and take any action necessary.

Councilmember Moeller moved to appoint Jeremy Standifer to serve in the vacant seat on the Main Street Advisory Board (an initial, partial term to run through January of 2026). Councilmember Thomas seconded the motion, which passed by a vote of 6 ayes with 1 absence (Johannesen).

XII. City Manager's Report, Departmental Reports and Related Discussions Pertaining To Current City Activities, Upcoming Meetings, Future Legislative Activities, and Other Related Matters.

- 1.** Building Inspections Department Monthly Report
- 2.** Fire Department Monthly Report
- 3.** Parks & Recreation Department Monthly Report
- 4.** Police Department Monthly Report
- 5.** Sales Tax Historical Comparison

6. Water Consumption Historical Statistics

City Manager Mary Smith stated that monthly reports were included in this evening's informational packet, indicating she had nothing further to report. No discussion and no action took place.

XIII. Adjournment

The meeting was adjourned at 6:32 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS ON THIS 15th
DAY OF APRIL, 2024.

TRACE JOHANNESSEN, MAYOR

ATTEST:

KRISTY TEAGUE, CITY SECRETARY

CITY OF ROCKWALL

ORDINANCE NO. 24-11

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL TEXAS, ALTERING THE PRIMA FACIE SPEED LIMITS ESTABLISHED FOR VEHICLES UNDER THE PROVISIONS OF TRANSPORTATION CODE, SECTION 545.356 UPON INTERSTATE HIGHWAY NO. 30 OR PARTS THEREOF, WITHIN THE INCORPORATE LIMITS OF THE CITY OF ROCKWALL, TEXAS, AS SET OUT IN THIS ORDINANCE; PROVIDING A PENALTY OF A FINE NOT TO EXCEED THE SUM OF \$200.00 FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 545.356 of the Texas Transportation Code, provides that whenever the governing body of the City shall determine upon the basis of an engineering and traffic investigation that any prima facie speed therein set forth is greater or less than is reasonable or safe under the conditions found to exist at any intersection or other place or upon any part of a street or highway within the City, taking into consideration that width and condition of the pavement and other circumstances such portion of said street or highway, as well as the traffic thereon, said governing body may determine and declare a reasonable and safe prima facie speed limit thereat or thereon by the passage of an ordinance, which shall be effective when appropriate signs giving notice thereof are erected at such intersection or other place or part of the street or highway;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THAT:

SECTION 1. Upon the basis of an engineering and traffic investigation heretofore made as authorized by the provisions of Transportation Code, Section 545.356, the following prima facie speed limits hereafter indicated for vehicles are hereby determined and declared to be reasonable and safe; and

SECTION 2. Such speed limits are hereby fixed at the rate of speed indicated for vehicles traveling upon the named streets and highways, or parts thereof, described within this ordinance; and

SECTION 3. From and after the date of the passage of this speed zone ordinance, no motor vehicle shall be operated along and upon Interstate Highway No. 30 within the corporate limits of the City of Rockwall in excess of speeds now set forth in Exhibit "A" of this ordinance until the completion and/or acceptance of the project shall make this ordinance null and void. At such time, the speed limit shall revert to the originally posted prima facie speed limit.

SECTION 4. The Mayor of Rockwall or their designee is hereby authorized to cause to be erected, appropriated signs indicating such speed zones; and

SECTION 5. Any person violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined in any sum not to exceed Two Hundred Dollars (\$200.00).

SECTION 6. This ordinance shall take effect immediately from and after its passage, and it is so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 15th DAY OF APRIL, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 04-01-2024

2nd Reading: 04-15-2024

Exhibit A

SPEED
LIMIT
65

Interstate 30
MP: 71.23

Interstate 30
MP: 69.27



CITY OF ROCKWALL

ORDINANCE NO. 24-12

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES IN CHAPTER 44. UTILITIES; ARTICLE V. WATER; DIVISION 6 “WATER CONSERVATION PLAN” AND DIVISION 7 “WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN” TO REPEAL DIVISION 6. AND DIVISION 7 IN THEIR ENTIRETY AND REPLACE THEM WITH ONE NEW DIVISION 6 TO REFLECT AN UPDATED WATER CONSERVATION PLAN AND AN UPDATED WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND A SEPARATE OFFENSE SHALL BE DEEMED COMMITTED ON EACH DAY DURING OR ON WHICH A VIOLATION OCCURS; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING AN EFFECTVE DATE.

WHEREAS, the Rockwall City Council previously adopted a Water Conservation Plan through passage of Ordinance No. 19-18, “Exhibit A” and previously adopted a Water Resource and Emergency Management Plan through passage of Ordinance No.19-28, “Exhibit A;“ and

WHEREAS, the City Council has determined the need to repeal the plans in their entirety for the purpose of updating them.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THAT:

SECTION 1. The Code of Ordinances in Chapter 44. “Utilities,” Article V. “Water,” Division 6. “Water Conservation” and Division 7. “Water Resource and Emergency Management Plan” are hereby repealed in their entirety and a new “Water Conservation Plan” and a new “Water Resource and Emergency Management Plan” are hereby adopted as Division 6. as reflected in “**Exhibit A**” of this ordinance; and

SECTION 2. That the two plans are hereby adopted as set forth herein below:

Sec. 44-412. PLAN ADOPTED

- (a) The city council hereby approves and adopts the City of Rockwall Water Conservation Plan and City of Rockwall Water Resource and Emergency Management Plan, attached to Ordinance No. 24-12_ as “Exhibit A,” which is incorporated as if fully set forth in this division and on file in the city secretary’s office.

As contained in Section 8.02, Subsections F, G, H, and I of the Water Conservation Plan, the following conservation strategies are adopted and required by the City of Rockwall:

F. YEAR-ROUND OUTDOOR WATERING SCHEDULES

A mandatory weekly watering schedule has been gradually gaining acceptance in the region and the state. NTMWD requires all Member Cities and Customers to adhere to a permanent outdoor watering schedule.

- **Summer (April 1 – October 31)** –Spray irrigation with sprinklers or irrigation systems at each service address must be limited to no more than **two days per week**. Additionally, prohibit lawn irrigation watering from **10 a.m. to 6 p.m.** Education should be provided that irrigation should only be used when needed, which is often less than twice per week, even in the heat of summer.
- **Winter (November 1 – March 31)** – Spray irrigation with sprinklers or irrigation systems at each service address must be limited to no more than **one day per week** with education that less than once per week (or not at all) is usually adequate.

Additional irrigation may be provided by hand-held hose with shutoff nozzle, use of dedicated irrigation drip zones, and/or soaker hose provided no runoff occurs. Many North Texas horticulturists have endorsed twice-weekly watering as more than sufficient for landscapes in the region, even in the heat of summer.

G. TIME OF DAY WATERING SCHEDULE

NTMWD requires that during the summer months (April 1 – October 31) under normal conditions, spray irrigation with an irrigation system or sprinkler is only permitted on authorized watering days, before 10 a.m. or after 6 p.m. The primary purpose of this measure is to reduce wind drift and evaporation losses during the active growing season. The time-of-day watering schedule requirement increases watering efficiency by eliminating outdoor irrigation use when climatic factors negatively impact irrigation system efficiencies. Midday irrigation is not an optimal time to irrigate because evapotranspiration rates are higher, and plants are more susceptible to stress associated with factors such as higher temperatures and lower relative humidity.

H. IRRIGATION SYSTEM REQUIREMENTS FOR NEW AND COMMERCIAL SYSTEMS

In 2007, the 80th Texas Legislature passed House Bill 1656, Senate Bill 3, and House Bill 4 related to regulating irrigation systems and irrigators by adopting minimum standards and specifications for designing, installing, and operating irrigation systems. The Texas legislation required cities with a population over 20,000 to develop a landscape irrigation program that includes permitting, inspection, and enforcement of water conservation for new irrigation systems.

NTMWD requires all Member Cities and Customers adhere to a minimum set of irrigation standards:

- 1) Require that all new irrigation systems comply with state design and installation regulations (Texas Administrative Code Title 30, Chapter 344).
- 2) Require operational rain and freeze sensors and/or ET or Smart controllers on all new irrigation systems. Rain and freeze sensors and/or ET or Smart controllers must be properly maintained to function properly.
- 3) Require that irrigation systems be inspected at the same time as initial backflow preventer inspection.

I. WATER WASTE PROVISIONS

NTMWD requires all Member Cities and Customers prohibit activities that waste water. The main purpose of a water waste ordinance is to provide for a means to enforce that water waste is prevented during lawn and landscape irrigation, that water resources are conserved for their most beneficial and vital uses, and that public health is protected. It provides a defined enforcement mechanism for

exceptional neglect related to the proper maintenance and efficient use of water fixtures, pipes, and irrigation systems. The ordinance can provide additional assistance or enforcement actions if no corrective action has been taken after a certain number of correspondences.

NTMWD requires that the following water waste ordinance offenses include:

- 1) The use of irrigation systems that water impervious surfaces. (Wind-driven water drift will be taken into consideration.)
 - 2) Outdoor watering during precipitation or freeze events.
 - 3) The use of poorly maintained sprinkler systems that waste water.
 - 4) Excess water runoff or other obvious waste.
 - 5) Overseeding, sodding, sprigging, broadcasting or plugging with cool season grasses or watering cool season grasses, except for golf courses and athletic fields.
 - 6) The use of potable water to fill or refill residential, amenity, and any other natural or manmade ponds. A pond is considered to be a still body of water with a surface area of 500 square feet or more. This does not include recreational swimming pools.
 - 7) Non-commercial car washing that does not use a water hose with an automatic shut-off valve.
 - 8) Hotels and motels that do not offer a linen reuse water conservation option to customers.
 - 9) Restaurants, bars, and other commercial food or beverage establishments that provide drinking water to customers unless a specific request is made by the customer for drinking water.
- (b) Any person or customer, defined pursuant to 30 Tex. Admin. Code Ch. 291, failing to comply with the provisions of the plan shall be subjected to a fine of up to \$2,000.00 and/or discontinuance of water service by the city. Proof of a culpable mental state is not required for a conviction of an offense under this section. Each day a customer fails to comply with the plan is a violation. The city's authority to seek injunctive or other relief available under the law is not limited by this section.

SECTION 3. The City Manager or his designee is hereby directed to file a copy of the Plans and this Ordinance with the Texas Commission on Environmental Quality in accordance with Title 30, Chapter 288 of the Texas Administrative Code and that said Plans meet all the requirements of Section 288.2 of the Texas Administrative Code; and

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense and each day such offense shall continue shall be deemed to constitute a separate offense; and

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect; and

SECTION 6. The City Council does hereby find and declare that sufficient written notice of the date, hour, place and subject of the meeting adopting this Ordinance was posted at a designated place convenient to the public for the time required by law preceding the meeting, that such place of posting was readily accessible at all times to the general public, and that all of the foregoing was done as required by law at all times during which this Ordinance and the subject matter thereof has been discussed, considered and formally acted upon. The City Council further ratifies, approves and confirms such written notice and the posting thereof; and

SECTION 7. All ordinances or parts of ordinances, in conflict herewith are to the extent of such conflict hereby repealed, and the balance of such ordinance is hereby saved from repeal; and

SECTION 8. The ordinance shall become effective immediately following its approval upon second reading and publication in accordance with the City Charter.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 15TH DAY OF APRIL, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 04/01/2024

2nd Reading: 04/15/2024

EXHIBIT A

2024

WATER CONSERVATION

&

**WATER RESOURCE AND EMERGENCY
MANAGEMENT PLAN**



City of Rockwall
The New Horizon

2024
City of Rockwall
Water Conservation
&
Water Resource and Emergency
Management Plan

Adopted on 4/15/2024

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DEFINITIONS

AQUATIC LIFE means a vertebrate organism dependent upon an aquatic environment to sustain its life.

ATHLETIC FIELD means a public sports competition field, the essential feature of which is turf grass, used primarily for organized sports practice, competition or exhibition events for schools, professional sports and league play sanctioned by the utility providing retail water supply.

BEST MANAGEMENT PRACTICES (BMPs) are voluntary efficiency measures that save a quantifiable amount of water, either directly or indirectly, and that can be implemented within a specific time frame.

COMMERCIAL VEHICLE WASH FACILITY means a permanently located business that washes vehicles or other mobile equipment with water or water-based products, including but not limited to self-service car washes, full-service car washes, roll-over/in-bay style car washes, and facilities managing vehicle fleets or vehicle inventory.

COMMERCIAL FACILITY means business or industrial buildings and the associated landscaping, but does not include the fairways, greens, or tees of a golf course.

CONSERVATION includes those practices, techniques, and technologies that reduce the consumption of water, reduce the loss or waste of water, improve the efficiency in the use of water, or increase the recycling and reuse of water so that a water supply is made available for future or alternative uses.

COOL SEASON GRASSES are varieties of turf grass that grow best in cool climates primarily in northern and central regions of the U.S. Cool season grasses include but are not limited to perennial and annual rye grass, Kentucky blue grass and fescues.

CUSTOMERS include those entities to whom NTMWD provides wholesale water that are not member cities of NTMWD.

DESIGNATED OUTDOOR WATER USE DAY means a day prescribed by a rule on which a person is permitted to irrigate outdoors.

DRIP IRRIGATION is a type of micro-irrigation system that operates at low pressure and delivers water in slow, small drips to individual plants or groups of plants through a network of plastic conduits and emitters; also called trickle irrigation.

DROUGHT, for the purposes of this report, means an extended period of time when an area receives insufficient amounts of rainfall to replenish the water supply, causing water supply sources (in this case reservoirs) to be depleted.

ET/SMART CONTROLLERS are irrigation controllers that adjust their schedule and run times based on weather (ET) data. These controllers are designed to replace the amount of water lost to evapotranspiration.

EVAPOTRANSPIRATION (ET) represents the amount of water lost from plant material to evaporation and transpiration. The amount of ET can be estimated based on the temperature, wind, and relative humidity.

EXECUTIVE DIRECTOR means the Executive Director of NTMWD and includes a person the Executive Director has designated to administer or perform any task, duty, function, role, or action related to this Plan or on behalf of the Executive Director.

FOUNDATION WATERING means an application of water to the soils directly abutting (within 2 feet of) the foundation of a building or structure.

INTERACTIVE WATER FEATURES mean water sprays, dancing water jets, waterfalls, dumping buckets, shooting water cannons, inflatable pools, temporary splash toys or pools, slip-n-slides, or splash pads that are maintained for recreation.

IRRIGATION SYSTEM means a permanently installed, custom-made, site-specific system of delivering water generally for landscape irrigation via a system of pipes or other conduits installed below ground.

LANDSCAPE means any plant material on a property, including any tree, shrub, vine, herb, flower, succulent, ground cover, grass or turf species, that is growing or has been planted out of doors.

MEMBER CITIES include the cities of Allen, Farmersville, Forney, Frisco, Garland, McKinney, Mesquite, Plano, Princeton, Richardson, Rockwall, Royse City, and Wylie, Texas, which are members of NTMWD.

MUNICIPAL USE means the use of potable water provided by a public water supplier as well as the use of treated wastewater effluent for residential, commercial, industrial, agricultural, institutional, and wholesale uses.

NEW LANDSCAPE means: (a) vegetation installed at the time of the construction of a residential or commercial facility; (b) installed as part of a governmental entity's capital improvement project; or (c) installed to stabilize an area disturbed by construction.

ORNAMENTAL FOUNTAIN means an artificially created structure from which a jet, stream, or flow of treated water emanates and is not typically utilized for the preservation of aquatic life.

POND is considered to be a still body of water with a surface area of 500 square feet or more. This does not include recreational swimming pools.

PUBLIC WATER SUPPLIER is an individual or entity that supplies water to the public for human consumption.

REGIONAL WATER PLANNING GROUP is a group established by the Texas Water Development Board to prepare a regional water plan under Texas Water Code §16.053.

REGULATED IRRIGATION PROPERTY means any property of a designated customer class (i.e., commercial) that uses one million gallons of water or more for irrigation purposes in a single calendar year or is greater than one acre in size.

RESIDENTIAL GALLONS PER CAPITA PER DAY (RESIDENTIAL GPCD) means the total gallons sold for retail residential use by a public water supplier divided by the residential population served and then divided by the number of days in the year.

RETAIL CUSTOMERS include those customers to whom the utility provides retail water from a water meter.

REUSE is the authorized use for one or more beneficial purposes of use of water that remains unconsumed after the water is used for the original purpose of use and before that water is either disposed of or discharged or otherwise allowed to flow into a watercourse, lake, or other body of state-owned water.

SOAKER HOSE means a perforated or permeable garden-type hose or pipe that is laid above ground that provides irrigation at a slow and constant rate.

SPRINKLER/SPRAY IRRIGATION is the method of applying water in a controlled manner that is similar to rainfall. The water is distributed through a network that may consist of pumps, valves, pipes, and sprinklers.

SPRINKLER means an above-ground water distribution device that may be attached to a garden hose.

RECREATIONAL/SWIMMING POOL is defined as a body of water that involves contact recreation. This includes activities that are presumed to involve a significant risk of ingestion of water (e.g. wading by children, swimming, water skiing, diving, tubing, surfing, etc.)

TOTAL GALLONS PER CAPITA PER DAY (TOTAL GPCD) means the total amount of water diverted and/or pumped for potable use less wholesale sales divided by the total permanent population divided by the days of the year. Diversion volumes of reuse as defined in TAC §288.1 shall be credited against total diversion volumes for the purposes of calculating GPCD for targets and goals.

WATER CONSERVATION COORDINATOR is the person designated by a retail public water supplier that is responsible for implementing a water conservation plan.

WATER CONSERVATION PLAN means the Member City or Customer water conservation plan approved and adopted by the utility.

WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN means a plan for temporary supply management and demand management responses to temporary and potentially recurring water supply shortages and other water supply emergencies required by Texas Administrative Code Title 30, Chapter 288, Subchapter B. This is sometimes called a drought contingency plan.

ABBREVIATIONS

Ac-Ft/Yr	Acre-Feet per Year
BMP	Best Management Practices
CDC.....	Centers for Disease Control and Prevention
DWU	Dallas Water Utilities
E&O	Education and Outreach
ED	Executive Director
EPA	Environmental Protection Agency
ET.....	Evapotranspiration
FNI	Freese and Nichols, Inc.
gpf	Gallons per Flush
gpm	Gallons per Minute
LAMP	Linear Asset Management Plan
LRWSP.....	Long Range Water Supply Plan
FWSD.....	Fresh Water Supply District
GPCD	Gallons per Capita per Day
ICIM.....	Industrial, Commercial, Institutional and Multifamily
MGD	Million Gallons per Day
MUD	Municipal Utility District
NCTCOG.....	North Central Texas Council of Governments
NTMWD.....	North Texas Municipal Water District
SUD.....	Special Utility District
TCEQ.....	Texas Commission on Environmental Quality
TRWD	Tarrant Regional Water District
TWDB	Texas Water Development Board
UTRWD.....	Upper Trinity Regional Water District
UD	Utility District
WCAC	Water Conservation Advisory Council
WCP.....	Water Conservation Plan
WREMP	Water Resource and Emergency Management Plan
WSC.....	Water Supply Corporation
WENNT.....	Water Efficiency Network of North Texas
WTP	Water Treatment Plant
WWTP	Wastewater Treatment Plant

2024 Water Conservation Plan

This Water Conservation Plan has been developed in accordance with the requirements of 30 Texas Administrative Code (TAC) Chapter 288. A copy of the version of 30 TAC Chapter 288 in place at the time of this Plan preparation is included in Appendix B.

1.00 INTRODUCTION

City of Rockwall is a Member City of the North Texas Municipal Water District (NTMWD). This Plan was developed following TCEQ guidelines and requirements governing the development of water conservation plans.

The goal of the Water Conservation Plan is to serve as good stewards of water resources by preserving water supplies for essential uses and the protection of public health. The objectives to achieve this goal are as follows:

- To reduce the loss and waste of water.
- To improve efficiency in both indoor and outdoor water use.
- To maximize the level of recycling and reuse.
- To protect and preserve environmental resources.
- To extend the life of current water supplies.
- To raise public awareness of water conservation and encourage responsible personal behavior through public education programs.

1.01 MINIMUM REGULATORY REQUIREMENTS CHECKLIST

A water conservation plan is defined as “[a] strategy or combination of strategies for reducing the volume of water withdrawn from a water supply source, for reducing the loss or waste of water, for maintaining or improving the efficiency in the use of water, for increasing the recycling and reuse of water, and for preventing the pollution of water. A water conservation plan may be a separate document identified as such or may be contained within another water management document”. Recognizing the need for efficient use of existing water supplies, TCEQ has developed guidelines and requirements governing the development of water conservation and drought contingency plans. The minimum TCEQ requirements and where they are addressed within this document are included in **Appendix B**.

1.02 ADDITIONAL REQUIREMENTS AND GUIDANCE

In addition to TCEQ rules regarding water conservation, this Plan also incorporates both minimum requirements as required from NTMWD and elements from several conservation initiatives.

- **2024 NTMWD Water Conservation Plan** – Member Cities and Customers of the NTMWD are required to implement water conservation strategies as designated in the NTMWD Water Conservation Plan. These strategies represent minimum measures to be implemented and enforced to promote water conservation and are to remain in effect on a permanent basis.
- **Guidance and Methodology for Reporting on Water Conservation and Water Use** - Developed by TWDB and TCEQ in consultation with the Water Conservation Advisory

Council (the Guidance). The Guidance was developed in response to a charge by the 82nd Texas Legislature to develop water use and calculation methodology and guidance for preparation of water use reports and water conservation plans in accordance with TCEQ rules.

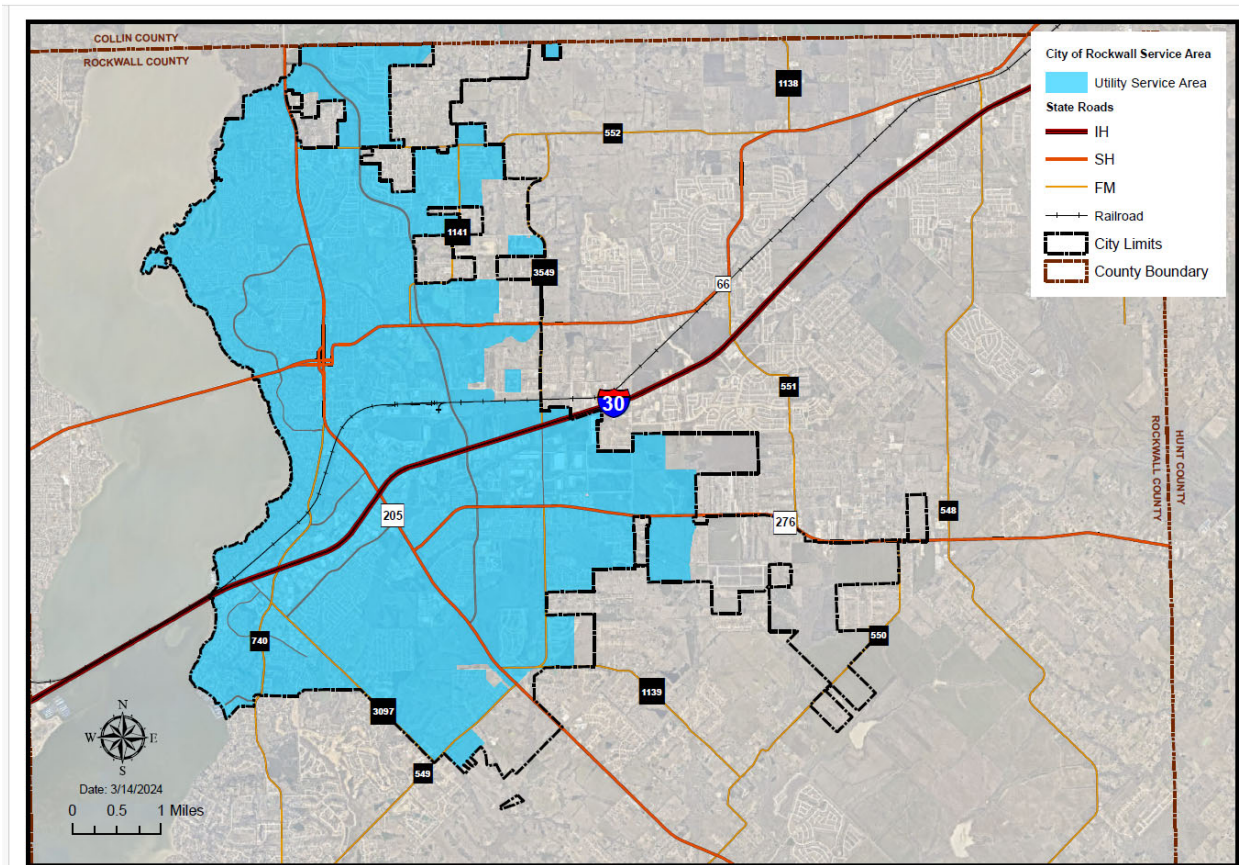
- **North Texas Regional Landscape Initiative** – The North Texas regional water providers (NTMWD, DWU and TRWD) collaborated to create the Regional Landscape Initiatives. This document was developed as a resource of best management practices for municipal staff to help reduce water waste and encourage long-term water conservation in the North Texas region. Information consists of the background, importance, and benefits of each BMP and key talking points to consider when implementing the strategy. Several of the optional water management measures included in this Plan are from this collaborative initiative.

2.00 WATER UTILITY PROFILE

This section contains a description of City of Rockwall’s service area and water system. This information can also be reviewed in **Appendix C**, which contains a completed TCEQ Water Utility Profile.

2.01 DESCRIPTION OF THE SERVICE AREA

The City of Rockwall purchases treated potable water from NTMWD and provides treatable water from NTMWD to the City of Heath, Blackland, and RCH Water Supply Companies. The figure below shows Rockwall’s service area of 24.95 square miles with a population of 57,518.



2.02 WATER UTILITY PROFILE

City of Rockwall’s existing water supply is composed of the following sources.

- Purchased Treated Water from NTMWD

3.00 WATER CONSERVATION GOALS

TCEQ rules require the adoption of specific 5-year and 10-year water conservation goals for a water conservation plan.

3.01 5- AND 10-YEAR GOALS

Per capita water use varies from year to year based on several factors including weather conditions, changing demographics and other variables. The TWDB requires specific 5- and 10-year goals which are summarized in **Table 1**.

Table 1: Five- and 10-Year Per Capita Water Use Goals

	Historic 5-Year Average	Baseline	5-Year Goal 2029	10-Year Goal 2034
Total (GPCD) ¹	169	171	192	185
Residential (GPCD) ²	100	105	113	110
ICIM (GPCD) ³	48.5	50	52	62
Water Loss (GPCD) ⁴	21	15	14	12
Water Loss (Percentage) ⁵	8	6	7	5

¹Total GPCD = (Total Gallons in System / Permanent Population) / 365

²Residential GPCD = (Gallons Used for Residential Use / Residential Population) / 365

³ICIM GPCD = (Gallons Used for Industrial, Commercial, Institutional and Multi-family Use / Permanent Population) / 365

⁴Water Loss GPCD = (Total Water Loss / Permanent Population) / 365

⁵Water Loss Percentage = (Total Water Loss / Total Gallons in System) x 100; or (Water Loss GPCD / Total GPCD) x 100

3.02 METHOD FOR TRACKING

NTMWD requires Member Cities and Customers to complete annual conservation reports by March 31 of the following year and submit them to NTMWD. A copy of the form is included as **Appendix D**.

The completion of this Annual Water Conservation Report allows the City of Rockwall to track the effectiveness of its water conservation programs over time and reassess those programs that are not providing water savings, ensuring maximum water use efficiency and greater levels of conservation.

4.00 METERING, RECORDS AND WATER LOSS CONTROL

4.01 METERING PROGRAM

One of the key elements in water conservation is careful tracking of water use and control of losses. Careful metering of water deliveries and water use, detection and repair of leaks in the distribution system, and regular monitoring of unaccounted water are important in controlling losses.

ACCURATE METERING OF TREATED WATER DELIVERIES FROM NTMWD

Accurate metering of water diversions and deliveries, detection, and repair of leaks in the raw water transmission and potable water distribution systems and regular monitoring of nonrevenue water are important elements of NTMWD's program to control losses. Water deliveries from NTMWD are metered by NTMWD using meters with accuracy of ±2%. These meters are calibrated on an annual basis by NTMWD to maintain the required accuracy.

METERING OF CUSTOMER AND PUBLIC USES

The City of Rockwall will continue to meter water for all customers, including public and governmental users. It will test and replace residential customers' meters on a regular basis. Additionally, large meters will be regularly tested and either repaired or replaced when their flow is more than a 3 percent difference from the actual flow.

METER TESTING, REPAIR AND REPLACEMENT

The City of Rockwall is currently replacing water meters older than ten years with Automated Meter Reading (AMR) technology and following a ten-year replacement program. AMR will help identify water leaks and waste issues while improving customer service. All wholesale meters are checked for accuracy every quarter and either repaired or replaced.

4.02 MONITORING AND RECORD MANAGEMENT PROGRAM

As required by TAC Title 30, Chapter 288, a record management system should allow for the separation of water sales and uses into residential, commercial, public/institutional, and industrial categories. This information is included in the NTMWD annual water conservation report that is included in **Appendix D**.

4.03 WATER LOSS CONTROL PROGRAM

DETERMINATION AND CONTROL OF WATER LOSS

Total water loss is the difference between treated water pumped and authorized consumption or metered deliveries to customers. Authorized consumption includes billed metered uses, unbilled metered uses, and unbilled unmetered uses such as firefighting and releases for flushing of lines.

Water losses include two categories:

- Apparent losses such as inaccuracies in customer meters. (Customer meters tend to run more slowly as they age and under-report actual use). Unauthorized consumption due to illegal connections and theft.
- Real losses due to water main breaks and leaks in the water distribution system and unreported losses.

LEAK DETECTION AND REPAIR

The City of Rockwall uses subsurface leak detection correlators and loggers deployed throughout the system, typically on valves or hydrants. City staff also uses acoustic listening devices to locate leaks. City crews and personnel look for and report evidence of leaks in the water distribution systems. Areas of the water distribution system in which numerous leaks and line breaks occur will be targeted for replacement as funds are available.

5.00 CONTRACT REQUIREMENTS FOR WHOLESALE CUSTOMERS

Every water supply contract entered into or renewed after official adoption of this water conservation plan, including any contract extension, will include a requirement that each wholesale customer of the City of Rockwall must develop and implement a water conservation plan and water conservation

measures. If the customer intends to resell the water, then the contract between the initial supplier and customer must specify that the contract for the resale of the water must have water conservation requirements so that each successive customer in the resale of the water will be required to implement water conservation measures in accordance with the provisions of Title 30 TAC Chapter 288.

6.00 RESERVOIR SYSTEM OPERATIONS PLAN

The City of Rockwall purchases treated water from NTMWD and does not have surface water supplies for which to implement a reservoir system operations plan. NTMWD operates multiple sources of water supply as a system. The operation of the reservoir system is intended to optimize the use of the District's sources (within the constraints of existing water rights) while minimizing energy use cost for pumping, maintaining water quality, minimizing potential impacts on recreational users of the reservoirs and fish and wildlife.

7.00 CONSERVATION PLAN ADOPTION AND ENFORCEMENT

7.01 MEANS OF IMPLEMENTATION AND ENFORCEMENT

Staff will implement the Plan in accordance with adoption of the Plan. **Appendix G** contains a copy of the ordinance adopted regarding this Plan. The document designates responsible officials to implement and enforce the Plan.

Appendix G is a copy of the Water Conservation and Water Resource and Emergency Management Plans Ordinance and enforcement actions. Appendix H includes a copy of the ordinance's adoption regarding enforcing illegal connections and water theft. Appendix I contains a copy of the Irrigation Ordinance, including enforcement information.

7.02 REVIEW AND UPDATE OF WATER CONSERVATION PLAN

TCEQ requires that the water conservation plan be updated every five years. This Plan will be updated as required and as appropriate based on new or updated information.

7.03 REGIONAL WATER PLANNING GROUP AND NTMWD NOTIFICATION

In accordance with TCEQ regulations, a copy of this water conservation plan was provided to the Region C Water Planning Group. In accordance with NTMWD contractual requirements, a copy of this water conservation plan was also sent to NTMWD. **Appendix F** includes a copy of the letters sent.

8.00 WATER CONSERVATION PROGRAM

8.01 PUBLIC EDUCATION PROGRAM

A. NTMWD PUBLIC EDUCATION PROGRAM AND TECHNICAL ASSISTANCE

The City of Rockwall obtains water conservation support from the NTMWD. This includes several public education and outreach efforts such as:

- Beginning in 2006 and continuing through 2018, NTMWD invested in the development and implementation of the “Water IQ: Know Your Water” campaign, including newspaper ads, radio spots, billboards, a website, and other forms of communication all intended to educate the public regarding water use and water conservation. During the 2017 campaign, over a quarter of a million people were reached by the program through media relations, outreach and interactive media. The total audience reached through the campaign in 2017 was over 88 million impressions.
- In 2013, NTMWD participated in the “Water My Yard” program to install weather stations throughout its service area to provide consumers with a weekly email or text message and information through the Water My Yard website recommending the adequate amount of supplemental water that is needed to maintain healthy grass in specific locations. This service represents the largest network of weather stations providing ET-based irrigation recommendations in the state of Texas and provides the public with advanced information regarding outdoor irrigation needs, thereby reducing water use. Through a series of selections on the type of irrigation system a consumer has, a weekly email or text message is provided that will recommend how long (in minutes) that an irrigation system needs to run based on the past seven days of weather. This recommendation provides the actual amount of supplemental water that is required for a healthy lawn based on research of the Texas A&M Agrilife Extension Service and proven technologies.
- “Water4Otter” is a water conservation campaign for kids launched by NTMWD in 2014. It is based on the insight that most parents agree they would listen if their kids asked them to conserve water. The TWDB awarded the NTMWD a conservation grant to develop Water4Otter as a model program that could be used throughout the state. The 2023 program included 22 performances at 11 schools in eight different ISDs including stops at elementary schools in Wylie, Garland, Mesquite, Plano, Princeton, Richardson, and Royse City.
- “Love Lavon Lake” is a water conservation campaign designed to help North Texans know their primary water source. The campaign launched in 2018 with a call to action to, “Conserve your water source. Love Lavon Lake”. The campaign was based on market research showing the more people know the source of their drinking water, the more likely they are to use it wisely and efficiently.
- NTMWD implemented the “#PledgetoPlantSmart” initiative that seeks to inspire positive change in water conservation by encouraging North Texas residents to do their part and plant smart by selecting native or adapted plants for their garden and landscaping.

NTMWD also participates in a regional outreach campaign called “Water is Awesome” partnering with the City of Dallas and Tarrant Regional Water District. NTMWD Member Cities and Customers have access to the campaign materials which include:

- In 2019, an additional tagline, “Keep Texas Water on Tap”, was incorporated to promote the Water is Awesome brand and direct traffic to waterisawesome.com.

- In 2020, a “customer city toolkit” provided customizable resources allowing cities to incorporate their logos with the campaign brand for their website, social media, and print. Cities are encouraged to use campaign resources to advance conservation efforts.
- In 2021, the regional water providers collaborated to create the Regional Landscape Initiatives. This document was developed as a resource of best management practices for municipal staff to help reduce water waste and encourage long-term water conservation in the North Texas region. Information consists of the background, importance, and benefits of each BMP and key talking points to consider when implementing the strategy. Several of the optional water management measures included in this Plan are from this collaborative initiative.
- The 2023 campaign will include a focus on short HGTV-style web series about converting yards into drought-resistant, water-conservative yardscapes.

Conservation materials and more are made available to Member Cities and Customers through an online portal that is hosted by NTMWD. In addition to the portal the NTMWD actively provides technical assistance through the following:

- NTMWD holds **Regularly Scheduled Meetings** with Member Cities and Customers for water supply updates, public campaign strategies, and legislative activities related to water and water conservation.
- NTMWD purchases **American Water Works Association Research Foundation Publications** for use by Member Cities and Customers to further enhance resources for water efficiency, water rate structures, etc. Additionally, NTMWD pays for Member City and Customer membership to the **Alliance for Water Efficiency**.
- To assist its Member Cities and Customers in the development of their own water conservation plans, NTMWD has developed a **Model Water Conservation Plan for NTMWD Member Cities and Customers**. The Model Water Conservation Plan addresses TCEQ requirements for water conservation plans for municipal use by public water suppliers and includes advanced water conservation strategies beyond TCEQ requirements that mirror the NTMWD plan. This is available online at <https://www.ntmwd.com/login/portal/>.
- Since 2003, NTMWD has held **Water Conservation Workshops** for staff of its Member Cities and Customers. These workshops have covered several conservation-related topics, including TCEQ requirements for water conservation and drought contingency plans, advanced water conservation strategies, current NTMWD water conservation efforts, water conservation programs of the cities, current drought status, progress on future water supplies, and related topics. These workshops also provide training and education regarding water use accounting, irrigation evaluations, industrial, commercial, and institutional audits, and other procedures. Additional examples include workshops on Water Loss Audit Training as well as on the TWDB Water Conservation Planning Tool.
- Based on the annual reporting data collected from Member Cities and Customers from 2022, approximately 24% of the District’s treated water sales went to supply ICIM users within their service area. To target programs for this customer base, the District hired Plummer Associates,

Inc. to create the **Industrial, Commercial, Institutional and Multifamily Program**. The ICIM program provides NTMWD Member City and Customer staff with the knowledge and tools necessary to identify ICIM customers with high water usage. This program was created to categorize water use data to find outliers and identify areas to concentrate water conservation efforts. This program can help Member Cities and Customers' ICIM water customers develop targeted methods for increasing water efficiency as an alternative to a traditional voluntary approach for water consumption improvement.

- As part of the ICIM program, the District is currently engaging with the Member and Customer Cities to encourage their ICIM customers to participate in **Water Efficiency Opportunity Surveys**. These surveys encompass a building audit that recommends various water conservation measures that can be implemented to save both money and water. Items addressed include toilet retrofits, urinal retrofits, showerhead retrofits, lavatory retrofits, non-lavatory faucet retrofits, leak repair, water cooled ice machine retrofit, commercial disposer, food steam, cooling tower efficiency and irrigation system efficiency. As of June 2023, NTMWD has utilized the ICIM program to audit four buildings resulting in an estimated annual water savings of 87.4 million gallons.
- As part of its wastewater system, NTMWD has developed **Industrial Pretreatment Programs** for the cities of Allen, Forney, Frisco, McKinney, Mesquite, Murphy, Plano, Richardson, Rockwall, Terrell, and Wylie. The pretreatment programs developed by NTMWD are adopted and implemented by the cities, which are also responsible for enforcement of the programs. By reducing allowable volumes of specific pollutants and encouraging pretreatment of industrial wastes, this joint effort by NTMWD and the cities has improved water quality in the region's streams and reservoirs. NTMWD industrial pretreatment personnel are also available to assist cities on request in the review or design of systems to allow industrial recycling and reuse of wastewater. Such systems have reduced water use by some industries, while also reducing wastewater volumes and saving money for the industries.
- NTMWD encourages its Member Cities and Customers to develop and implement **Rebate and Bulk Purchasing Programs** that help the Member Cities and Customers achieve overall water savings. Further, NTMWD provides technical assistance to those Member Cities and Customers who wish to implement rebate and bulk purchasing programs.

B. PUBLIC EDUCATION PROGRAM

- Insert water conservation information with water bills. Inserts will include material developed by the City of Rockwall and material obtained from the TWDB, the TCEQ, and other sources.
- Encourage local media coverage of water conservation issues and the importance of water conservation.
- Notify local organizations, schools, and civic groups that the City of Rockwall staff and the NTMWD staff are available to make presentations on the importance of water conservation and ways to save water.

- Promote the Texas Smartscape website (www.txsmartscape.com) and make water conservation brochures and other materials available to the public at City Hall and other public places.
- Make information on water conservation available on the City’s website and include links to the Know Your Water website, the Texas Smartscape website, and the TWDB and TCEQ websites.
- Encourage customers to subscribe to weekly watering updates through Water My Yard or another similar program to reduce outdoor water consumption.

8.02 REQUIRED CONSERVATION STRATEGIES

The following water conservation strategies are required. These strategies represent minimum measures to be implemented and enforced to promote water conservation and are to remain in effect on a permanent basis.

A. TCEQ CONSERVATION PLAN REQUIREMENTS

The preceding sections cover the regulatory requirements identified in TAC Title 30, Part 1, Chapter 288, Subchapter B, Rule 288. These rules are included in **Appendix B**.

B. CONSERVATION COORDINATOR

The designation of a Conservation Coordinator is required by House Bill 1648, effective September 1, 2017 for all retail public water utilities with 3,300 service connections or more. The NTMWD requires that all Member Cities and Customers, regardless of number of connections, appoint a Conservation Coordinator who will serve as the primary point of contact between the entity and the District on conservation matters.

The duties of the Conservation Coordinator are as follows:

- Submit an annual conservation report to NTMWD by March 31. This is referred to as the ‘Appendix D Report’. NTMWD will provide a blank workbook for each Member City and Customer to fill out prior to the deadline.
- Submit an adopted water conservation and water resource and emergency management plan by May 1, 2024 (and every five years afterwards). These plans must be submitted to NTMWD, the applicable Regional Water Planning Group, TCEQ and TWDB. The conservation coordinator is also responsible for submitting a copy of the Plan if it is updated after initial adoption and submission.

The City of Rockwall’s Conservation Coordinator is identified below. The City of Rockwall will notify NTMWD if this changes at any point before the water conservation plan is updated.

Stacy Dean
972.771.7730
sdean@rockwall.com

C. WATER CONSERVATION PRICING

Each Member City and Customer must adopt an increasing block rate water structure that is intended to encourage water conservation and to discourage excessive use and waste of water.

City of Rockwall’s water rate structure is as follows:

Residential / Commercial / Industrial / Wholesale Rates

	<u>Meter size</u>		<u>Water Rates</u>
Monthly Minimum Bills:			
Residential:	0.75	\$	25.75
	1.00		31.00
	1.50		35.50
	2.00		44.50
 Non-residential:	 0.75	 \$	 29.75
	1.00		34.00
	1.50		38.00
	2.00		47.00
	3.00		64.75
	4.00		81.75
	6.00		99.50
 Irrigation Meters:	 0.75	 \$	 29.75
	1.00		34.00
	1.50		38.00
	2.00		47.00
	3.00		64.75
	4.00		81.75
	6.00		99.50
 Rate per TH Gallons - Water:		 \$	 4.11
Residential 2,001-8,000 gallons			5.09
Residential 8,001-16,000 gallons			6.98
Residential over 16,000 gallons			6.98
Irrigation over 2,000 gallons			6.03
Non-residential over 2,000 gallons			4.67
Wholesale Contract Rate			

D. ORDINANCES, PLUMBING CODES, OR RULES ON WATER-CONSERVING FIXTURES

The City of Rockwall’s plumbing code standards encourages water conservation and meets the minimum statutory requirements. The state has required water-conserving fixtures in new construction and renovations since 1992. The state standards call for flows of no more than 2.5 gallons per minute (gpm)

for faucets, 2.5 gpm for showerheads. As of January 1, 2014, the state requires maximum average flow rates of 1.28 gallons per flush (gpf) for toilets and 0.5 gpf for urinals. Similar standards are now required under federal law. These state and federal standards assure that all new construction and renovations will use water-conserving fixtures.

E. REUSE AND RECYCLING OF WASTEWATER

NTMWD currently has the largest wastewater reuse program in the state. NTMWD has water rights allowing reuse of up to 71,882 acre-feet per year (64 MGD) of treated wastewater discharges from the Wilson Creek Wastewater Treatment Plant for municipal purposes. Additionally, NTMWD has permitted and is currently constructing the Sister Grove Regional Water Resource Recovery Facility (WRRF) in the Lavon Lake watershed. This facility will have an initial capacity of 16 MGD and an ultimate capacity of 64 MGD.

NTMWD has also developed the East Fork Water Reuse Project which can divert treated wastewater discharges by NTMWD and purchased wastewater return flows from TRA via Main Stem Pump Station. NTMWD also provides treated effluent from its wastewater treatment plants available for direct reuse for landscape irrigation and industrial use.

The City of Rockwall has contracts with NTMWD to operate its wastewater treatment plants. NTMWD selects reuse arrangements for recycled wastewater effluent.

F. YEAR-ROUND OUTDOOR WATERING SCHEDULES

A mandatory weekly watering schedule has been gradually gaining acceptance in the region and the state. NTMWD requires all Member Cities and Customers to adhere to a permanent outdoor watering schedule.

- **Summer (April 1 – October 31)** – Spray irrigation with sprinklers or irrigation systems at each service address must be limited to no more than **two days per week**. Additionally, prohibit lawn irrigation watering from **10 a.m. to 6 p.m.** Education should be provided that irrigation **should only be used when needed**, which is often less than twice per week, even in the heat of summer.
- **Winter (November 1 – March 31)** – Spray irrigation with sprinklers or irrigation systems at each service address must be limited to no more than **one day per week** with education that less than once per week (or not at all) is usually adequate.

Additional irrigation may be provided by hand-held hose with shutoff nozzle, use of dedicated irrigation drip zones, and/or soaker hose provided no runoff occurs. Many North Texas horticulturists have endorsed twice-weekly watering as more than sufficient for landscapes in the region, even in the heat of summer.

G. TIME OF DAY WATERING SCHEDULE

NTMWD requires that during the summer months (April 1 – October 31) under normal conditions, spray irrigation with an irrigation system or sprinkler is only permitted on authorized watering days, before 10 a.m. or after 6 p.m. The primary purpose of this measure is to reduce wind drift and evaporation losses

during the active growing season. The time-of-day watering schedule requirement increases watering efficiency by eliminating outdoor irrigation use when climatic factors negatively impact irrigation system efficiencies. Midday irrigation is not an optimal time to irrigate because evapotranspiration rates are higher, and plants are more susceptible to stress associated with factors such as higher temperatures and lower relative humidity.

H. IRRIGATION SYSTEM REQUIREMENTS FOR NEW AND COMMERCIAL SYSTEMS

In 2007, the 80th Texas Legislature passed House Bill 1656, Senate Bill 3, and House Bill 4 related to regulating irrigation systems and irrigators by adopting minimum standards and specifications for designing, installing, and operating irrigation systems. The Texas legislation required cities with a population over 20,000 to develop a landscape irrigation program that includes permitting, inspection, and enforcement of water conservation for new irrigation systems.

NTMWD *requires* all Member Cities and Customers adhere to a minimum set of irrigation standards:

- 1) Require that all new irrigation systems comply with state design and installation regulations (Texas Administrative Code Title 30, Chapter 344).
- 2) Require operational rain and freeze sensors and/or ET or Smart controllers on all new irrigation systems. Rain and freeze sensors and/or ET or Smart controllers must be properly maintained to function properly.
- 3) Require that irrigation systems be inspected at the same time as initial backflow preventer inspection.
- 4) Require the owner of a regulated irrigation property to obtain an evaluation of any permanently installed irrigation system on a five-year basis. The irrigation evaluation shall be conducted by a licensed irrigator in the state of Texas and be submitted to the local water provider (i.e., city, water supply corporation).

I. WATER WASTE PROVISIONS

NTMWD requires all Member Cities and Customers prohibit activities that waste water. The main purpose of a water waste ordinance is to provide for a means to enforce that water waste is prevented during lawn and landscape irrigation, that water resources are conserved for their most beneficial and vital uses, and that public health is protected. It provides a defined enforcement mechanism for exceptional neglect related to the proper maintenance and efficient use of water fixtures, pipes, and irrigation systems. The ordinance can provide additional assistance or enforcement actions if no corrective action has been taken after a certain number of correspondences.

NTMWD *requires* that the following water waste ordinance offenses include:

- 1) The use of irrigation systems that water impervious surfaces. (Wind-driven water drift will be taken into consideration.)
- 2) Outdoor watering during precipitation or freeze events.
- 3) The use of poorly maintained sprinkler systems that waste water.

- 4) Excess water runoff or other obvious waste.
- 5) Overseeding, sodding, sprigging, broadcasting or plugging with cool season grasses or watering cool season grasses, except for golf courses and athletic fields.
- 6) The use of potable water to fill or refill residential, amenity, and any other natural or manmade ponds. A pond is considered to be a still body of water with a surface area of 500 square feet or more. This does not include recreational swimming pools.
- 7) Non-commercial car washing that does not use a water hose with an automatic shut-off valve.
- 8) Hotels and motels that do not offer a linen reuse water conservation option to customers.
- 9) Restaurants, bars, and other commercial food or beverage establishments that provide drinking water to customers unless a specific request is made by the customer for drinking water.

8.03 ADDITIONAL CONSERVATION STRATEGIES

In addition, the City of Rockwall recommends the following measures:

- 1) Retrofit existing irrigation systems with rain and freeze sensors or evapo-transpiration capable of multiple programming.
- 2) Prohibition planting or watering areas that have been over seeded with cool season grasses (such as rye grass or other similar grasses), except for golf courses and public athletic fields.
- 3) Rehabilitate poorly maintained irrigation systems that waste water to comply with the current Irrigation Ordinance.
- 4) Install separate zones for areas adjacent to athletic fields.
- 5) Plant only native, drought tolerant or adaptive plants.
- 6) Install drip irrigation systems, when applicable.
- 7) Water audits should be performed to find ways in which water can be used more efficiently at a specific location.

A. USE OF ET-BASED WEEKLY WATERING ADVICE/RECOMMENDATIONS

NTMWD requires that Member Cities and Customers adhere to a year-round outdoor watering schedule. However, this conservation practice can be improved with the use of ET-based weekly watering advice and recommendations. Landscapes frequently require less watering than the year-round water schedule allows. This measure can be particularly useful for entities with a significant percentage of customers using automated landscape irrigation systems.

Water providers in the Dallas-Fort Worth (DFW) area (including NTMWD) sponsor weather stations to collect daily weather data and provide the most accurate watering recommendations. Many cities in the DFW area can already take advantage of these ET-based recommendations and incorporate them into their water conservation programs, at no cost to the city. Examples of such a service are shown below.

- Water My Yard – An online platform where homeowners can sign up to receive weekly watering recommendations based on their location and a few specifications about their sprinkler system. Users can then choose to accept the recommendations by email, text, or both. Recommendations are available for select cities in Collin, Dallas, Denton, Fannin, Hunt, Kaufman, and Rockwall Counties. Sponsored by NTMWD and Texas A&M AgriLife Extension Service (WaterMyYard.org).
- Water Is Awesome Weekly Watering Advice – Weekly watering recommendations for most of North Texas based on data from weather stations scattered throughout the DFW area. The recommendations are distributed by email and text every week and are provided in inches of water needed and the number of minutes necessary to apply that amount of water for spray, rotor, and multi-stream sprinklers. Advice service is available for all of North Central Texas and sponsored by DWU and TRWD. (<https://waterisawesome.com/weekly-watering-advice>).

Providing evapotranspiration (ET)-based weekly watering recommendations can reduce the amount of water applied for outdoor watering if customers follow the guidance. A drawback with this BMP is the adoption rate. Since these recommendations may change every week, it requires customers to adjust their controllers more often.

B. WATER EFFICIENT LANDSCAPE INITIATIVES

A water-efficient landscape is designed and maintained according to basic sound horticultural principles that allow for a beautiful, healthy landscape with minimal or no supplemental irrigation and no adverse runoff from the landscape property. Water-efficient landscapes limit or exclude non-functional turf where possible. Section 05.05 of the City of Rockwall’s Unified Development Code addresses xeriscaping/smartscape standards. Section 05.05 aims to promote the establishment of water-conscious landscaping by implementing xeriscaping/smartscape principles. Acceptable xeriscaping/smartscape standards are in Appendix I of this document.

There are several programs available that offer a wealth of information on designing and implementing water-efficient landscapes.

- Water Wise (<http://urbanlandscapeguide.tamu.edu/waterwise.html>)
- Texas SmartScape™ (<http://www.txsmartscape.com/>)
- EARTH-KIND™ (<https://aggie-horticulture.tamu.edu/earthkind/publications/#water>)

C. REBATES

A \$100 rebate will be applied to the purchase and installation of high-efficiency cards or coin-operated commercial clothes washers at commercial laundromats.

2024 Water Resource and Emergency Management Plan

Under Texas Water Code Chapter 11 and Title 30 Texas Administrative Code Chapter 288, Retail, Irrigation and Wholesale Public Water Suppliers are required to develop, implement and submit updated Drought Contingency Plans to TCEQ every five years.

1.00 INTRODUCTION

The City of Rockwall is a Member City of the North Texas Municipal Water District (NTMWD). This Plan was developed following TCEQ guidelines and requirements governing the development of drought contingency plans.

The goal of the water resource and emergency management plan is to prepare for potential water shortages and to preserve water for essential uses and the protection of public health. The objectives to achieve this goal are as follows:

- To save water during droughts, water shortages, and emergencies.
- To save water for domestic use, sanitation, and fire protection.
- To protect and preserve public health, welfare, and safety.
- To reduce the adverse impacts of shortages.
- To reduce the adverse impacts of emergency water supply conditions.

Note: NTMWD refers to their drought contingency plan (DCP) as the water resource and emergency management plan (WREMP) and should be considered synonymous with a DCP.

1.01 MINIMUM REGULATORY REQUIREMENTS

A drought contingency plan is defined as “a strategy or combination of strategies for temporary supply and demand management responses to temporary and potentially recurring water supply shortages and other water supply emergencies”. Recognizing the need for efficient use of existing water supplies, TCEQ has developed guidelines and requirements governing the development of water conservation and drought contingency plans.

The minimum TCEQ requirements and where they are addressed within this document are described in **Appendix B**.

2.00 IMPLEMENTATION AND ENFORCEMENT

2.01 PROVISIONS TO INFORM THE PUBLIC AND OPPORTUNITY FOR INPUT

The City of Rockwall provided opportunity for public input in the development of this Plan by the following means:

- Providing written notice of the proposed Plan and the opportunity to comment on the Plan by newspaper and posted notice.
- Posting the draft Plan on the community website and/or social media.
- Providing the draft Plan to anyone requesting a copy.
- Holding a public meeting regarding the Plan on 4/1/2024 Public notice of this meeting was provided on the community website and in local newspapers.

- Approving the Plan at a public Board meeting on 4/15/2024. Public notices of this meeting were provided on the community website and live audio was available during the meeting.

2.02 PROGRAM FOR CONTINUING PUBLIC EDUCATION AND INFORMATION

The City of Rockwall informs and educates the public about the Plan by the following means:

- Preparing a bulletin describing the plan and making it available at City Hall and/or other appropriate locations.
- Including information and making the Plan available to the public through the community website and/or social media.
- Notifying local organizations, schools, and civic groups that utility staff are available to make presentations on the Plan (usually in conjunction with presentations on water conservation programs).
- At any time that the Plan is activated or changes, the City of Rockwall will notify local media of the issues, the water resource management stage (if applicable), and the specific actions required of the public. The information will also be publicized on the community website and/or social media. Billing inserts will also be used as appropriate.

2.03 COORDINATION WITH THE REGIONAL WATER PLANNING GROUPS AND NTMWD

Appendix F of this Plan includes copies of letters sent to the Chairs of the appropriate regional water planning groups as well as NTMWD.

2.04 INITIATION AND TERMINATION OF WATER RESOURCE MANAGEMENT STATGES

A. INITITATION OF A WATER RESOURCE MANAGEMENT STAGE

The City Manager may order the implementation of a water resource management stage when one or more of the trigger conditions for that stage is met.

- NTMWD has initiated a water resource management stage. (Stages imposed by NTMWD action *must* be initiated by Member Cities and Customers.)
- The City Manager may implement restrictions as required due to emergencies experienced with the water system operations when water storage for pumping capacity is restricted such that normal demand cannot be met.
- The City Manager may implement restrictions anytime if the Texas State governor has issued a drought disaster declaration for Rockwall or the neighboring counties. The following actions will be taken when a water resource management stage is initiated:
- The public will be notified through local media and the supplier’s website.

- Wholesale customers and NTMWD will be notified by email that provides details of the reasons for initiation of the water resource management stage.
- If any mandatory provisions of the Plan are activated, the City of Rockwall will notify TCEQ and the NTMWD Executive Director within five business days. Instructions to report drought contingency plan water use restrictions to TCEQ is available online at https://www.tceq.texas.gov/drinkingwater/homeland_security/security_pws.

B. TERMINATION OF A WATER RESOURCE MANAGEMENT STAGE

Water resource management stages initiated by NTMWD may be terminated after NTMWD has terminated the stage. For stages initiated by the City Manager, they may order the termination of a water resource management stage when the conditions for termination are met or at their discretion.

The following actions will be taken when a water resource management stage is terminated:

- The public will be notified through local media and the supplier's website.
- Wholesale customers and NTMWD will be notified by email.
- If any mandatory provisions of the Plan that have been activated are terminated, City of Rockwall will notify TCEQ Executive Director and the NTMWD Executive Director within five business days. Instructions to report drought contingency plan water use restrictions to TCEQ is available online at https://www.tceq.texas.gov/drinkingwater/homeland_security/security_pws.

The City Manager may decide not to order the termination of a water resource management stage even though the conditions for termination of the stage are met. Factors which could influence such a decision include, but are not limited to, the time of the year, weather conditions, or the anticipation of potentially changed conditions that warrant the continuation of the water resource management stage. The reason for this decision should be documented.

2.05 PROCEDURES FOR CURTAILMENT OF WATER SUPPLIES

Any imposed reduction in water availability, the City Manager is hereby authorized to initiate allocation of water supplies on a pro rata basis in accordance with Texas Water Code Section §11.039. In addition, every wholesale water supply contract entered into or renewed after the adoption of this plan, including contract extensions, shall include a provision that water will be distributed in accordance with Texas Water Code §11.039 in case of a water shortage resulting from drought or water emergency.

2.06 PROCEDURE FOR GRANTING VARIANCES TO THE PLAN

The City Manager may grant temporary variances for existing water uses otherwise prohibited under this Plan if one or more of the following conditions are met:

- Failure to grant such a variance would cause an emergency condition adversely affecting health, sanitation, or fire safety for the public or the person or entity requesting the variance.

- Compliance with this Plan cannot be accomplished due to technical or other limitations.
- Alternative methods that achieve the same level of reduction in water use can be implemented.

Variations shall be granted or denied at the discretion of the City Manager. All petitions for variations should be in writing and should include the following information:

- Name and address of the petitioners.
- Purpose of water use.
- Specific provisions from which relief is requested.
- Detailed statement of the adverse effect of the provision from which relief is requested.
- Description of the relief requested.
- Period of time for which the variance is sought.
- Alternative measures that will be taken to reduce water use and the level of water use reduction.
- Other pertinent information.

2.07 PROCEDURES FOR ENFORCING MANDATORY WATER USE RESTRICTIONS

Mandatory water use restrictions may be imposed in Stage 1, Stage 2, and Stage 3 by adopting this Water Resource and Emergency Management Plan by Ordinance of the City of Rockwall. Appendix G contains the ordinance adopted by the city council approving the Plan, including enforcement and penalties for noncompliance.

2.08 REVIEW AND UPDATE OF WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN

As required by TCEQ rules, the City of Rockwall must review their respective Plan every five years. The plan will be updated as appropriate based on new or updated information.

3.00 WATER RESOURCE AND EMERGENCY MANAGEMENT PLAN

Initiation and termination criteria for water management stages include general, demand, supply, and emergency criteria. One of the major indicators of approaching or ongoing drought conditions is NTMWD's combined reservoir storage, defined as storage at Lavon Lake plus storage in Bois d'Arc Lake. Percent storage is determined by dividing the current storage by the total conservation storage when the lakes are full. **Table 1** summarizes the water management stages by triggers based on percent combined storage and associated demand reduction goals and outdoor watering restrictions. The following sections go into more detail on the three water management stages.

TCEQ requires notification when mandatory restrictions are placed on a customer. NTMWD must notify TCEQ when they impose mandatory restrictions on Member Cities and Customers. Member Cities and Customers must likewise notify TCEQ when they impose mandatory restrictions on their customers (wholesale or retail). Measures that impose mandatory requirements on customers are denoted with “requires notification to TCEQ”.

NTMWD and the utilities must notify TCEQ within five business days if these measures are implemented (<https://www.tceq.texas.gov/response/drought/drought-and-public-water-systems>).

Table 1: Water Management Plan Stages Summary

Drought Stage		April to October	November to March	Demand Reduction Goal	Outdoor Watering Restrictions
		Percent Combined Storage			
Stage 1	Initiation	70%	60%	2%	2X per week (Apr-Oct) 1X per week (Nov-Mar)
	Termination	75%	65%		
Stage 2	Initiation	55%	45%	5%	1X per week (Apr-Oct) 1X every other week (Nov-Mar)
	Termination	70%	60%		
Stage 3	Initiation	30%	20%	30%	No outdoor watering
	Termination	55%	45%		

3.01 WATER RESOURCE MANAGEMENT – STAGE 1

A. INITIATION AND TERMINATION CRITERIA FOR STAGE 1

NTMWD has initiated Stage 1, which may be initiated when one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the declaration of Stage 1.
 - One or more source(s) is interrupted, unavailable, or limited due to contamination, invasive species, equipment failure or other cause.
 - The water supply system is unable to deliver needed supplies due to the failure or damage of major water system components.
 - Part of the system has a shortage of supply or damage to equipment. (NTMWD may implement measures for only that portion of the system impacted.)
 - A portion of the service area is experiencing an extreme weather event or power grid/supply disruptions.
- **Demand Criteria**

- Water demand has exceeded or is expected to exceed 90% of maximum sustainable production or delivery capacity for an extended period.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lake, as published by the TWDB, is less than:
 - 70% of the combined conservation pool capacity during any of the months of April through October
 - 60% of the combined conservation pool capacity during any of the months of November through March
 - The Sabine River Authority (SRA) has indicated that its Upper Basin water supplies used by NTMWD (Lake Tawakoni and/or Lake Fork) are in a Stage 1 drought.
 - NTMWD is concerned that Lake Texoma, Jim Chapman Lake, the East Fork Water Reuse Project, Main Stem Pump Station, and/or some other NTMWD water source may be limited in availability within the next six months.

Stage 1 may terminate when one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the termination of Stage 1.
 - The circumstances that caused the initiation of Stage 1 no longer prevail.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lakes, as published by the TWDB, is greater than:
 - 75% of the combined conservation pool capacity during any of the months of April through October
 - 65% of the combined conservation pool capacity during any of the months of November through March

B. GOAL FOR USE REDUCTION UNDER STAGE 1

The goal for water use reduction under Stage 1 is an annual reduction of 2% in the use that would have occurred in the absence of water management measures. Because discretionary water use is highly concentrated in the summer months, savings should be higher than 5% in summer to achieve an annual savings goal of 2%. **If circumstances warrant, the Executive Director can set a goal for greater or less water use reduction.**

C. WATER MANAGEMENT MEASURES AVAILABLE UNDER STAGE 1

The actions listed below are provided as potential measures to reduce water demand. NTMWD may choose to implement any or all of the available restrictions in Stage 1.

- **Requires notification to TCEQ by NTMWD.** Require Member Cities and Customers (including indirect Customers) to initiate Stage 1 restrictions in their respective, independently adopted water resource management plans.
- Continue actions described in the water conservation plan.
- Increase enforcement of landscape watering restrictions from the water conservation plan.
- Initiate engineering studies to evaluate alternative actions that can be implemented if conditions worsen.
- Accelerate public education efforts on ways to reduce water use.
- Halt non-essential NTMWD water use.
- Encourage the public to wait until the current drought or water emergency situation has passed before establishing new landscaping.
- Encourage all users to reduce the frequency of draining and refilling swimming pools.
- **Requires notification to TCEQ by Member Cities and Customers and/or NTMWD.** Initiate a rate surcharge for all water use over a certain level.
- **Requires notification to TCEQ by Member Cities and Customers.** Parks, golf courses, and athletic fields using potable water for landscape watering are required to meet the same reduction goals and measures outlined in this stage. As an exception, golf course greens and tee boxes may be hand watered as needed.

3.02 WATER RESOURCE MANAGEMENT – STAGE 2

A. INITIATION AND TERMINATION CRITERIA FOR STAGE 2

NTMWD has initiated Stage 2, which may be initiated due to one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the declaration of Stage 2.
 - One or more supply source(s) is interrupted, unavailable, or limited due to contamination, invasive species, equipment failure or other cause.
 - The water supply system is unable to deliver needed supplies due to the failure or damage of major water system components.
 - Part of the system has a shortage of supply or damage to equipment. (NTMWD may implement measures for only that portion of the system impacted.)
 - A portion of the service area is experiencing an extreme weather event or power grid/supply disruptions.
- **Demand Criteria**

- Water demand has exceeded or is expected to exceed 95% of maximum sustainable production or delivery capacity for an extended period.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lake, as published by the TWDB, is less than
 - 55% of the combined conservation pool capacity during any of the months of April through October
 - 45% of the combined conservation pool capacity during any of the months of November through March
 - SRA has indicated that its Upper Basin water supplies used by NTMWD (Lake Tawakoni and/or Lake Fork) are in a Stage 2 drought.
 - NTMWD is concerned that Lake Texoma, Jim Chapman Lake, the East Fork Water Reuse Project, the Main Stem Pump Station, and/or some other NTMWD water source may be limited in availability within the next three months.

Stage 2 may terminate when one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the termination of Stage 2.
 - The circumstances that caused the initiation of Stage 2 no longer prevail.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lake, as published by the TWDB, is greater than
 - 70% of the combined conservation pool capacity during any of the months of April through October
 - 60% of the combined conservation pool capacity during any of the months of November through March

B. GOAL FOR USE REDUCTION UNDER STAGE 2

The goal for water use reduction under Stage 2 is an annual reduction of 5% in the use that would have occurred in the absence of water resource management measures. Because discretionary water use is highly concentrated in the summer months, savings should be higher than 5% in summer to achieve an annual savings goal of 5%. **If circumstances warrant, the Executive Director can set a goal for greater or less water use reduction.**

C. WATER MANAGEMENT MEASURES AVAILABLE UNDER STAGE 2

The actions listed below are provided as potential measures to reduce water demand. NTMWD may choose to implement any or all of the available restrictions in Stage 2.

- Continue or initiate any actions available under the water conservation plan and Stage 1.
- Implement viable alternative water supply strategies.
- **Requires notification to TCEQ by NTMWD.** Require Member Cities and Customers (including indirect Customers) to initiate Stage 2 restrictions in their respective, independently adopted water resource management plans.
- **Requires notification to TCEQ by NTMWD and/or Member Cities and Customers.** Limit landscape watering with sprinklers or irrigation systems at each service address to once per week on designated days between April 1 and October 31. Limit landscape watering with sprinklers or irrigation systems at each service address to once every other week on designated days between November 1 and March 31. Exceptions are as follows:
 - New construction may be watered as necessary for 30 days from the installation of new landscape features.
 - Foundation watering (within 2 feet), watering of new plantings (first year) of shrubs, and watering of trees (within a 10-foot radius of its trunk) for up to two hours on any day by a hand-held hose, a soaker hose, or a dedicated zone using a drip irrigation system, provided no runoff occurs.
 - Athletic fields may be watered twice per week.
 - Locations using alternative sources of water supply only for irrigation may irrigate without day-of-the-week restrictions provided proper signage is employed to notify the public of the alternative water source(s) being used. However, irrigation using alternative sources of supply is subject to all other restrictions applicable to this stage. If the alternative supply source is a well, proper proof of well registration with your local water supplier (e.g., city, water supply corporation) is required. Other sources of water supply may not include imported treated water.
 - An exemption is for drip irrigation systems from the designated outdoor water use day limited to no more than one day per week. Drip irrigation systems are, however, subject to all other restrictions applicable under this stage.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit overseeding, sodding, sprigging, broadcasting or plugging with or watering, except for golf courses and athletic fields.
- **Requires notification to TCEQ by NTMWD.** Institute a mandated reduction in water deliveries to all Member Cities and Customers. Such a reduction will be distributed as required by Texas Water Code Section 11.039 (**Appendix E**).
 - A wholesale customer's monthly allocation shall be a percentage of the customer's water usage baseline. The percentage will be set by the City Manager or his/her designee based on the assessment of the severity of the water shortage condition and the need to curtail water diversions and/or deliveries and may be adjusted periodically by the City Manager or his/her designee as conditions warrant. Once pro rata allocations are in effect, water diversions by or deliveries to each wholesale customer shall be limited to the allocation established for each month.

- A monthly water usage allocation shall be established by the City Manager or his/her designee for each wholesale customer. The wholesale customer's water usage baseline will be computed on the average water usage by month for the past five years. If the wholesale customer's billing history is less than five (5) years, the monthly average for the period for which there is a record shall be used for any monthly period for which no billing history exists.
- The City Manager or his/her designee shall provide notice, by certified mail, to each wholesale customer informing them of their monthly water usage allocations and shall notify the news media, the Texas Natural Resource Conservation Commission, and the Texas Water Development Board upon initiation of pro rata water allocations.
- Upon request of the customer, a request for a temporary variance to the pro rata water allocation may be requested.
- At the initiative of the City Manager or his/her designee, the allocation may be reduced if, (a) the customer agrees to transfer part of its allocation to another wholesale customer, or (2) other objective evidence demonstrates that the designated allocation is inaccurate under present conditions.
- City wholesale water users will be advised to continue all relevant actions from the previous stages including appropriate public water use restrictions and to implement the next stage of their own individual Retail Water Supplier Resource and Emergency Management Plan.
- **Requires notification to TCEQ by Member Cities and Customers and/or NTMWD.** Initiate a rate surcharge for all water use over a certain level.
- **Requires notification to TCEQ by Member Cities and Customers.** Parks and golf courses using potable water for landscape watering are required to meet the same reduction goals and measures outlined in this stage. As an exception, golf course greens and tee boxes may be hand watered as needed.

3.03 WATER RESOURCE MANAGEMENT – STAGE 3

A. INITIATION AND TERMINATION CRITERIA FOR STAGE 3

NTMWD has initiated Stage 3, which may be initiated due to one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the declaration of Stage 3.
 - One or more supply source(s) is interrupted, unavailable, or limited due to contamination, invasive species, equipment failure, or other cause.
 - The water supply system is unable to deliver needed supplies due to the failure or damage of major water system components.

- Part of the system has a shortage of supply or damage to equipment. (NTMWD may implement measures for only that portion of the system impacted.)
- A portion of the service area is experiencing an extreme weather event or power grid/supply disruptions.
- **Demand Criteria**
 - Water demand has exceeded or is expected to exceed maximum sustainable production or delivery capacity for an extended period.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lake, as published by the TWDB, is less than
 - 30% of the combined conservation pool capacity during any of the months of April through October
 - 20% of the combined conservation pool capacity during any of the months of November through March
- SRA has indicated that its Upper Basin water supplies used by NTMWD (Lake Tawakoni and/or Lake Fork) are in a drought and have significantly reduced supplies available to NTMWD.
- The supply from Lake Texoma, Jim Chapman Lake, the East Fork Water Reuse Project, the Main Stem Pump Station, and/or some other NTMWD water source has become limited in availability.

Stage 3 may terminate when one or more of the following criteria is met:

- **General Criteria**
 - The Executive Director, with the concurrence of the NTMWD Board of Directors, finds that conditions warrant the termination of Stage 3.
 - Other circumstances that caused the initiation of Stage 3 no longer prevail.
- **Supply Criteria**
 - The combined storage in Lavon and Bois d’Arc Lake, as published by the TWDB, is greater than:
 - 55% of the combined conservation pool capacity during any of the months of April through October
 - 45% of the combined conservation pool capacity during any of the months of November through March

B. GOAL FOR USE REDUCTION UNDER STAGE 3

The goal for water use reduction under Stage 3 is an annual reduction of 30% in the use that would have occurred in the absence of water resource management measures, or the goal for water use reduction is whatever reduction is necessary. Because discretionary water use is highly concentrated in the summer months, savings should be higher than 30% in summer to achieve an annual savings goal of 30%. **If circumstances warrant, the Executive Director can set a goal for greater or less water use reduction.**

C. WATER MANAGEMENT MEASURES AVAILABLE UNDER STAGE 3

The actions listed below are provided as potential measures to reduce water demand. NTMWD may choose to implement any or all of the available restrictions in Stage 3.

- Continue or initiate any actions available under the water conservation plan and Stages 1 and 2.
- Implement viable alternative water supply strategies.
- **Requires notification to TCEQ by NTMWD.** Require Member Cities and Customers (including indirect Customers) to initiate Stage 3 restrictions in their respective, independently adopted water resource management plans.
- **Requires notification to TCEQ by Member Cities and Customers.** Initiate mandatory water use restrictions as follows:
 - Hosing and washing of paved areas, buildings, structures, windows or other surfaces is prohibited except by variance and performed by a professional service using high efficiency equipment.
 - Prohibit operation of ornamental fountains or ponds that use potable water except where supporting aquatic life.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit new sod, overseeding, sodding, sprigging, broadcasting or plugging with or watering.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit the use of potable water for the irrigation of new landscape.
- **Requires notification to TCEQ by NTMWD and/or Member Cities and Customers.** Prohibit all commercial and residential landscape watering, except foundations (within 2 feet) and trees (within a 10-foot radius of its trunk) may be watered for two hours one day per week with a hand-held hose, a soaker hose, or a dedicated zone using a drip irrigation system provided no runoff occurs. Drip irrigation systems are not exempt from this requirement.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit washing of vehicles except at a commercial vehicle wash facility.
- **Requires notification to TCEQ by Member Cities and Customers.** Landscape watering of parks, golf courses, and athletic fields with potable water is prohibited. As an exception, golf course greens and tee boxes may be hand watered as needed. Variances may be granted by the water provider under special circumstances.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit the filling, draining, and/or refilling of existing swimming pools, wading pools, Jacuzzi and hot tubs except to maintain structural integrity, proper operation and maintenance or to alleviate a public safety risk. Existing pools may add water to replace losses from normal use and evaporation. Permitting of new swimming pools, wading pools, Jacuzzi and hot tubs is prohibited.
- **Requires notification to TCEQ by Member Cities and Customers.** Prohibit the operation of interactive water features such as water sprays, dancing water jets, waterfalls, dumping

buckets, shooting water cannons, inflatable pools, temporary splash toys or pools, slip-n-slides, or splash pads that are maintained for recreation.

- **Requires notification to TCEQ by Member Cities and Customers.** Require all commercial water users to reduce water use by a set percentage.
- **Requires notification to TCEQ by NTMWD.** Institute a mandated reduction in deliveries to all Member Cities and Customers. Such a reduction will be distributed as required by Texas Water Code Section 11.039.
 - A wholesale customer's monthly allocation shall be a percentage of the customer's water usage baseline. The percentage will be set by the City Manager or his/her designee based on the assessment of the severity of the water shortage condition and the need to curtail water diversions and/or deliveries and may be adjusted periodically by the City Manager or his/her designee as conditions warrant. Once pro rata allocations are in effect, water diversions by or deliveries to each wholesale customer shall be limited to the allocation established for each month.
 - A monthly water usage allocation shall be established by the City Manager or his/her designee for each wholesale customer. The wholesale customer's water usage baseline will be computed on the average water usage by month for the past five years. If the wholesale customer's billing history is less than five (5) years, the monthly average for the period for which there is a record shall be used for any monthly period for which no billing history exists.
 - The City Manager or his/her designee shall provide notice, by certified mail, to each wholesale customer informing them of their monthly water usage allocations and shall notify the news media, the Texas Natural Resource Conservation Commission, and the Texas Water Development Board upon initiation of pro rata water allocations.
 - Upon request of the customer, a request for a temporary variance to the pro rata water allocation may be requested.
 - At the initiative of the City Manager or his/her designee, the allocation may be reduced if, (a) the customer agrees to transfer part of its allocation to another wholesale customer, or (2) other objective evidence demonstrates that the designated allocation is inaccurate under present conditions.
 - City wholesale water users will be advised to continue all relevant actions from the previous stages including appropriate public water use restrictions and to implement the next stage of their own individual Retail Water Supplier Resource and Emergency Management Plan.
- **Requires notification to TCEQ by NTMWD and/or Member Cities and Customers.** Initiate a rate surcharge over normal rates for all water use or for water use over a certain level

Appendix A

List of References

The following appendix contains a list of references used throughout the plans.

APPENDIX A

LIST OF REFERENCES

1. Texas Commission on Environmental Quality Water Conservation Implementation Report.
<https://www.tceq.texas.gov/assets/public/permitting/forms/20645.pdf>
2. Title 30 of the Texas Administrative Code, Part 1, Chapter 288, Subchapter A, Rules 288.1 and 288.5, and Subchapter B, Rule 288.22, downloaded from
[http://texreg.sos.state.tx.us/public/readtac\\$ext.ViewTAC?tac_view=4&ti=30&pt=1&ch=288](http://texreg.sos.state.tx.us/public/readtac$ext.ViewTAC?tac_view=4&ti=30&pt=1&ch=288),
April 2023.
3. Water Conservation Implementation Task Force: “Texas Water Development Board Report 362, Water Conservation Best Management Practices Guide,” prepared for the Texas Water Development Board, Austin, November 2004.
4. Texas Water Development Board, Texas Commission on Environmental Quality, Water Conservation Advisory Council: Guidance and Methodology for Reporting on Water Conservation and Water Use, December 2012
5. Freese and Nichols, Inc.: Model Water Conservation Plan for NTMWD Members Cities and Customers, prepared for the North Texas Municipal Water District, Fort Worth, January 2019.
6. Freese and Nichols, Inc.: Model Water Resource and Emergency Management Plan for NTMWD Members Cities and Customers, prepared for the North Texas Municipal Water District, Fort Worth, January 2019.
7. Freese and Nichols Inc, Alan Plummer Associates, Inc., CP & Y Inc., Cooksey Communications.
“2021 Region C Water Plan”

Appendix B

Texas Administrative Code Title 30

Chapter 288

The following appendix contains the Texas Administrative Code that regulates both water conservation and drought contingency plans. Prior to the code, a summary is given that outlines where each requirement is fulfilled within the plans.

APPENDIX B

TEXAS ADMINISTRATIVE CODE TITLE 30 CHAPTER 288

TCEQ rules governing development of water conservation plans are contained in Title 30, Chapter 288, Subchapter A of the Texas Administrative Code, which is included in this Appendix for reference.

The water conservation plan elements required by TCEQ water conservation rules that are covered in this water conservation plan are listed below.

Minimum Conservation Plan Requirements for Public Water Suppliers

- 288.2(a)(1)(A) – Utility Profile – Section 2
- 288.2(a)(1)(B) – Record Management System – Section 4
- 288.2(a)(1)(C) – Specific, Quantified Goals – Section 3
- 288.2(a)(1)(D) – Accurate Metering – Section 4
- 288.2(a)(1)(E) – Universal Metering – Section 4
- 288.2(a)(1)(F) – Determination and Control of Water Loss – Section 4
- 288.2(a)(1)(G) – Public Education and Information Program – Section 8
- 288.2(a)(1)(H) – Non-Promotional Water Rate Structure – Section 8
- 288.2(a)(1)(I) – Reservoir System Operation Plan – Section 6
- 288.2(a)(1)(J) – Means of Implementation and Enforcement – Section 7
- 288.2(a)(1)(K) – Coordination with Regional Water Planning Group – Section 7
- 288.2(c) – Review and Update of Plan – Section 7

Additional Requirements for Public Water Suppliers (Population over 5,000)

- 288.2(a)(2)(A) – Leak Detection, Repair, and Water Loss Accounting – Section 4
- 288.2(a)(2)(B) – Requirement for Water Conservation Plans by Wholesale Customers – Section 5

Minimum Conservation Plan Requirements for Wholesale Water Suppliers

- 288.5(1)(A) – Description of Service Area – Section 2
- 288.5(1)(B) – Specific, Quantified Goals – Section 3
- 288.5(1)(C) – Measure and Account for Water Diverted – Section 4
- 288.5(1)(D) – Monitoring and Record Management Program – Section 4
- 288.5(1)(E) – Program of Metering and Leak Detection and Repair – Section 4

- 288.5(1)(F) – Requirement for Water Conservation Plans by Wholesale Customers – Section 5
- 288.5(1)(G) – Reservoir System Operation Plan – Section 6
- 288.5(1)(H) – Means of Implementation and Enforcement – Section 7
- 288.5(1)(I) – Documentation of Coordination with Regional Water Planning Group – Section 7
- 288.5(3) – Review and Update of Plan – Section 7

<u>TITLE 30</u>	ENVIRONMENTAL QUALITY
<u>PART 1</u>	TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
<u>CHAPTER 288</u>	WATER CONSERVATION PLANS, DROUGHT CONTINGENCY PLANS, GUIDELINES AND REQUIREMENTS
<u>SUBCHAPTER A</u>	WATER CONSERVATION PLANS
RULE §288.1	Definitions

The following words and terms, when used in this chapter, shall have the following meanings, unless the context clearly indicates otherwise.

(1) Agricultural or Agriculture--Any of the following activities:

(A) cultivating the soil to produce crops for human food, animal feed, or planting seed or for the production of fibers;

(B) the practice of floriculture, viticulture, silviculture, and horticulture, including the cultivation of plants in containers or non-soil media by a nursery grower;

(C) raising, feeding, or keeping animals for breeding purposes or for the production of food or fiber, leather, pelts, or other tangible products having a commercial value;

(D) raising or keeping equine animals;

(E) wildlife management; and

(F) planting cover crops, including cover crops cultivated for transplantation, or leaving land idle for the purpose of participating in any governmental program or normal crop or livestock rotation procedure.

(2) Agricultural use--Any use or activity involving agriculture, including irrigation.

(3) Best management practices--Voluntary efficiency measures that save a quantifiable amount of water, either directly or indirectly, and that can be implemented within a specific time frame.

(4) Conservation--Those practices, techniques, and technologies that reduce the consumption of water, reduce the loss or waste of water, improve the efficiency in the use of water, or increase the recycling and reuse of water so that a water supply is made available for future or alternative uses.

(5) Commercial use--The use of water by a place of business, such as a hotel, restaurant, or office building. This does not include multi-family residences or agricultural, industrial, or institutional users.

(6) Drought contingency plan--A strategy or combination of strategies for temporary supply and demand management responses to temporary and potentially recurring water supply shortages and

other water supply emergencies. A drought contingency plan may be a separate document identified as such or may be contained within another water management document(s).

(7) Industrial use--The use of water in processes designed to convert materials of a lower order of value into forms having greater usability and commercial value, and the development of power by means other than hydroelectric, but does not include agricultural use.

(8) Institutional use--The use of water by an establishment dedicated to public service, such as a school, university, church, hospital, nursing home, prison or government facility. All facilities dedicated to public service are considered institutional regardless of ownership.

(9) Irrigation--The agricultural use of water for the irrigation of crops, trees, and pastureland, including, but not limited to, golf courses and parks which do not receive water from a public water supplier.

(10) Irrigation water use efficiency--The percentage of that amount of irrigation water which is beneficially used by agriculture crops or other vegetation relative to the amount of water diverted from the source(s) of supply. Beneficial uses of water for irrigation purposes include, but are not limited to, evapotranspiration needs for vegetative maintenance and growth, salinity management, and leaching requirements associated with irrigation.

(11) Mining use--The use of water for mining processes including hydraulic use, drilling, washing sand and gravel, and oil field re-pressuring.

(12) Municipal use--The use of potable water provided by a public water supplier as well as the use of sewage effluent for residential, commercial, industrial, agricultural, institutional, and wholesale uses.

(13) Nursery grower--A person engaged in the practice of floriculture, viticulture, silviculture, and horticulture, including the cultivation of plants in containers or nonsoil media, who grows more than 50% of the products that the person either sells or leases, regardless of the variety sold, leased, or grown. For the purpose of this definition, grow means the actual cultivation or propagation of the product beyond the mere holding or maintaining of the item prior to sale or lease, and typically includes activities associated with the production or multiplying of stock such as the development of new plants from cuttings, grafts, plugs, or seedlings.

(14) Pollution--The alteration of the physical, thermal, chemical, or biological quality of, or the contamination of, any water in the state that renders the water harmful, detrimental, or injurious to humans, animal life, vegetation, or property, or to the public health, safety, or welfare, or impairs the usefulness or the public enjoyment of the water for any lawful or reasonable purpose.

(15) Public water supplier--An individual or entity that supplies water to the public for human consumption.

(16) Regional water planning group--A group established by the Texas Water Development Board to prepare a regional water plan under Texas Water Code §16.053.

(17) Residential gallons per capita per day--The total gallons sold for residential use by a public water supplier divided by the residential population served and then divided by the number of days in the year.

(18) Residential use--The use of water that is billed to single and multi-family residences, which applies to indoor and outdoor uses.

(19) Retail public water supplier--An individual or entity that for compensation supplies water to the public for human consumption. The term does not include an individual or entity that supplies water to itself or its employees or tenants when that water is not resold to or used by others.

(20) Reuse--The authorized use for one or more beneficial purposes of use of water that remains unconsumed after the water is used for the original purpose of use and before that water is either disposed of or discharged or otherwise allowed to flow into a watercourse, lake, or other body of state-owned water.

(21) Total use--The volume of raw or potable water provided by a public water supplier to billed customer sectors or nonrevenue uses and the volume lost during conveyance, treatment, or transmission of that water.

(22) Total gallons per capita per day (GPCD)--The total amount of water diverted and/or pumped for potable use divided by the total permanent population divided by the days of the year. Diversion volumes of reuse as defined in this chapter shall be credited against total diversion volumes for the purposes of calculating GPCD for targets and goals.

(23) Water conservation coordinator--The person designated by a retail public water supplier that is responsible for implementing a water conservation plan.

(24) Water conservation plan--A strategy or combination of strategies for reducing the volume of water withdrawn from a water supply source, for reducing the loss or waste of water, for maintaining or improving the efficiency in the use of water, for increasing the recycling and reuse of water, and for preventing the pollution of water. A water conservation plan may be a separate document identified as such or may be contained within another water management document(s).

(25) Wholesale public water supplier--An individual or entity that for compensation supplies water to another for resale to the public for human consumption. The term does not include an individual or entity that supplies water to itself or its employees or tenants as an incident of that employee service or tenancy when that water is not resold to or used by others, or an individual or entity that conveys water to another individual or entity, but does not own the right to the water which is conveyed, whether or not for a delivery fee.

(26) Wholesale use--Water sold from one entity or public water supplier to other retail water purveyors for resale to individual customers.

Source Note: The provisions of this §288.1 adopted to be effective May 3, 1993, 18 TexReg 2558; amended to be effective February 21, 1999, 24 TexReg 949; amended to be effective April 27, 2000, 25

TexReg 3544; amended to be effective August 15, 2002, 27 TexReg 7146; amended to be effective October 7, 2004, 29 TexReg 9384; amended to be effective January 10, 2008, 33 TexReg 193; amended to be effective December 6, 2012, 37 TexReg 9515; amended to be effective August 16, 2018, 43 TexReg 5218

<u>TITLE 30</u>	ENVIRONMENTAL QUALITY
<u>PART 1</u>	TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
<u>CHAPTER 288</u>	WATER CONSERVATION PLANS, DROUGHT CONTINGENCY PLANS, GUIDELINES AND REQUIREMENTS
<u>SUBCHAPTER A</u>	WATER CONSERVATION PLANS
RULE §288.2	Water Conservation Plans for Municipal Uses by Public Water Suppliers

(a) A water conservation plan for municipal water use by public water suppliers must provide information in response to the following. If the plan does not provide information for each requirement, the public water supplier shall include in the plan an explanation of why the requirement is not applicable.

(1) Minimum requirements. All water conservation plans for municipal uses by public water suppliers must include the following elements:

(A) a utility profile in accordance with the Texas Water Use Methodology, including, but not limited to, information regarding population and customer data, water use data (including total gallons per capita per day (GPCD) and residential GPCD), water supply system data, and wastewater system data;

(B) a record management system which allows for the classification of water sales and uses into the most detailed level of water use data currently available to it, including, if possible, the sectors listed in clauses (i) - (vi) of this subparagraph. Any new billing system purchased by a public water supplier must be capable of reporting detailed water use data as described in clauses (i) - (vi) of this subparagraph:

- (i) residential;
 - (I) single family;
 - (II) multi-family;
- (ii) commercial;
- (iii) institutional;
- (iv) industrial;
- (v) agricultural; and,
- (vi) wholesale.

(C) specific, quantified five-year and ten-year targets for water savings to include goals for water loss programs and goals for municipal use in total GPCD and residential GPCD. The goals established by a public water supplier under this subparagraph are not enforceable;

(D) metering device(s), within an accuracy of plus or minus 5.0% in order to measure and account for the amount of water diverted from the source of supply;

(E) a program for universal metering of both customer and public uses of water, for meter testing and repair, and for periodic meter replacement;

(F) measures to determine and control water loss (for example, periodic visual inspections along distribution lines; annual or monthly audit of the water system to determine illegal connections; abandoned services; etc.);

(G) a program of continuing public education and information regarding water conservation;

(H) a water rate structure which is not "promotional," i.e., a rate structure which is cost-based and which does not encourage the excessive use of water;

(I) a reservoir systems operations plan, if applicable, providing for the coordinated operation of reservoirs owned by the applicant within a common watershed or river basin in order to optimize available water supplies; and

(J) a means of implementation and enforcement which shall be evidenced by:

(i) a copy of the ordinance, resolution, or tariff indicating official adoption of the water conservation plan by the water supplier; and

(ii) a description of the authority by which the water supplier will implement and enforce the conservation plan; and

(K) documentation of coordination with the regional water planning groups for the service area of the public water supplier in order to ensure consistency with the appropriate approved regional water plans.

(2) Additional content requirements. Water conservation plans for municipal uses by public drinking water suppliers serving a current population of 5,000 or more and/or a projected population of 5,000 or more within the next ten years subsequent to the effective date of the plan must include the following elements:

(A) a program of leak detection, repair, and water loss accounting for the water transmission, delivery, and distribution system;

(B) a requirement in every wholesale water supply contract entered into or renewed after official adoption of the plan (by either ordinance, resolution, or tariff), and including any contract extension, that each successive wholesale customer develop and implement a water conservation plan or water conservation measures using the applicable elements in this chapter. If the customer intends to resell

the water, the contract between the initial supplier and customer must provide that the contract for the resale of the water must have water conservation requirements so that each successive customer in the resale of the water will be required to implement water conservation measures in accordance with the provisions of this chapter.

(3) Additional conservation strategies. Any combination of the following strategies shall be selected by the water supplier, in addition to the minimum requirements in paragraphs (1) and (2) of this subsection, if they are necessary to achieve the stated water conservation goals of the plan. The commission may require that any of the following strategies be implemented by the water supplier if the commission determines that the strategy is necessary to achieve the goals of the water conservation plan:

(A) conservation-oriented water rates and water rate structures such as uniform or increasing block rate schedules, and/or seasonal rates, but not flat rate or decreasing block rates;

(B) adoption of ordinances, plumbing codes, and/or rules requiring water-conserving plumbing fixtures to be installed in new structures and existing structures undergoing substantial modification or addition;

(C) a program for the replacement or retrofit of water-conserving plumbing fixtures in existing structures;

(D) reuse and/or recycling of wastewater and/or graywater;

(E) a program for pressure control and/or reduction in the distribution system and/or for customer connections;

(F) a program and/or ordinance(s) for landscape water management;

(G) a method for monitoring the effectiveness and efficiency of the water conservation plan; and

(H) any other water conservation practice, method, or technique which the water supplier shows to be appropriate for achieving the stated goal or goals of the water conservation plan.

(b) A water conservation plan prepared in accordance with 31 TAC §363.15 (relating to Required Water Conservation Plan) of the Texas Water Development Board and substantially meeting the requirements of this section and other applicable commission rules may be submitted to meet application requirements in accordance with a memorandum of understanding between the commission and the Texas Water Development Board.

(c) A public water supplier for municipal use shall review and update its water conservation plan, as appropriate, based on an assessment of previous five-year and ten-year targets and any other new or

updated information. The public water supplier for municipal use shall review and update the next revision of its water conservation plan every five years to coincide with the regional water planning group.

Source Note: The provisions of this §288.2 adopted to be effective May 3, 1993, 18 TexReg 2558; amended to be effective February 21, 1999, 24 TexReg 949; amended to be effective April 27, 2000, 25 TexReg 3544; amended to be effective October 7, 2004, 29 TexReg 9384; amended to be effective December 6, 2012, 37 TexReg 9515

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<u>SUBCHAPTER A</u>	WATER CONSERVATION PLANS
RULE §288.5	Water Conservation Plans for Wholesale Water Suppliers

A water conservation plan for a wholesale water supplier must provide information in response to each of the following paragraphs. If the plan does not provide information for each requirement, the wholesale water supplier shall include in the plan an explanation of why the requirement is not applicable.

(1) Minimum requirements. All water conservation plans for wholesale water suppliers must include the following elements:

(A) a description of the wholesaler's service area, including population and customer data, water use data, water supply system data, and wastewater data;

(B) specific, quantified five-year and ten-year targets for water savings including, where appropriate, target goals for municipal use in gallons per capita per day for the wholesaler's service area, maximum acceptable water loss, and the basis for the development of these goals. The goals established by wholesale water suppliers under this subparagraph are not enforceable;

(C) a description as to which practice(s) and/or device(s) will be utilized to measure and account for the amount of water diverted from the source(s) of supply;

(D) a monitoring and record management program for determining water deliveries, sales, and losses;

(E) a program of metering and leak detection and repair for the wholesaler's water storage, delivery, and distribution system;

(F) a requirement in every water supply contract entered into or renewed after official adoption of the water conservation plan, and including any contract extension, that each successive wholesale customer develop and implement a water conservation plan or water conservation measures using the applicable elements of this chapter. If the customer intends to resell the water, then the contract between the initial supplier and customer must provide that the contract for the resale of the water must have water conservation requirements so that each successive customer in the resale of the water will be required to implement water conservation measures in accordance with applicable provisions of this chapter;

(G) a reservoir systems operations plan, if applicable, providing for the coordinated operation of reservoirs owned by the applicant within a common watershed or river basin. The reservoir systems operations plans shall include optimization of water supplies as one of the significant goals of the plan;

(H) a means for implementation and enforcement, which shall be evidenced by a copy of the ordinance, rule, resolution, or tariff, indicating official adoption of the water conservation plan by the water supplier; and a description of the authority by which the water supplier will implement and enforce the conservation plan; and

(I) documentation of coordination with the regional water planning groups for the service area of the wholesale water supplier in order to ensure consistency with the appropriate approved regional water plans.

(2) Additional conservation strategies. Any combination of the following strategies shall be selected by the water wholesaler, in addition to the minimum requirements of paragraph (1) of this section, if they are necessary in order to achieve the stated water conservation goals of the plan. The commission may require by commission order that any of the following strategies be implemented by the water supplier if the commission determines that the strategies are necessary in order for the conservation plan to be achieved:

(A) conservation-oriented water rates and water rate structures such as uniform or increasing block rate schedules, and/or seasonal rates, but not flat rate or decreasing block rates;

(B) a program to assist agricultural customers in the development of conservation pollution prevention and abatement plans;

(C) a program for reuse and/or recycling of wastewater and/or graywater; and

(D) any other water conservation practice, method, or technique which the wholesaler shows to be appropriate for achieving the stated goal or goals of the water conservation plan.

(3) Review and update requirements. The wholesale water supplier shall review and update its water conservation plan, as appropriate, based on an assessment of previous five-year and ten-year targets and any other new or updated information. A wholesale water supplier shall review and update the next revision of its water conservation plan every five years to coincide with the regional water planning group.

Source Note: The provisions of this §288.5 adopted to be effective May 3, 1993, 18 TexReg 2558; amended to be effective February 21, 1999, 24 TexReg 949; amended to be effective April 27, 2000, 25 TexReg 3544; amended to be effective October 7, 2004, 29 TexReg 9384; amended to be effective December 6, 2012, 37 TexReg 9515

APPENDIX B

TEXAS ADMINISTRATIVE CODE TITLE 30 CHAPTER 288

TCEQ rules governing development of water conservation plans are contained in Title 30, Chapter 288, Subchapter A of the Texas Administrative Code, which is included in this Appendix for reference.

The water conservation plan elements required by TCEQ water conservation rules that are covered in this drought contingency plan are listed below.

Minimum Drought Contingency Plan Requirements for Public Water Suppliers

- **288.20(a)(1)(A)** – Provisions to Inform Public and Provide Opportunity for Public Input -Section 2
- **288.20(a)(1)(B)** – Program for Continuing Public Education and Information – Section 2
- **288.20(a)(1)(C)** –Coordination with Regional Water Planning Groups – Section 2
- **288.20(a)(1)(D)** – Description of Information to Be Monitored and Criteria for the Initiation and Termination of Water Resource Management Stages – Section 2
- **288.20(a)(1)(E)** – Stages for Implementation of Measures in Response to Situations – Section 3
- **288.20(a)(1)(F)** – Specific, Quantified Targets for Water Use Reductions During Water Shortages – Section 3
- **288.20(a)(1)(G)** – Specific Water Supply or Water Demand Measures to Be Implemented at Each Stage of the Plan – Section 3
- **288.20(a)(1)(H)** – Procedures for Initiation and Termination of Drought Contingency and Water Emergency Response Stages – Section 2
- **288.20(a)(1)(I)** – Description of Procedures to Be Followed for Granting Variances to the Plan – Section 2
- **288.20(a)(1)(J)** – Procedures for Enforcement of Mandatory Water Use Restrictions – Section 2
- **288.20(b)** – TCEQ Notification of Implementation of Mandatory Provisions – Sections 2 and 3
- **288.20(c)** – Review of Drought Contingency and Water Emergency Response Plan Every Five (5) Years – Section 2

Minimum Drought Contingency Plan Requirements for Wholesale Water Suppliers

- **288.22(a)(1)** –Provisions to Inform the Public and Provide Opportunity for Public Input–Section 2
- **288.22(a)(2)** – Coordination with the Regional Water Planning Groups – Section 2
- **288.22(a)(3)** – Criteria for Initiation and Termination of Drought Stages – Section 3
- **288.22(a)(4)** – Drought and Emergency Response Stages – Section 3
- **288.22(a)(5)** – Procedures for Initiation and Termination of Drought Stages – Section 2

- **288.22(a)(6)** – Specific, Quantified Targets for Water Use Reductions During Water Shortages – Section 3
- **288.22(a)(7)** – Specific Water Supply or Water Demand Management Measures to be Implemented during Each Drought Stage – Section 3
- **288.22(a)(8)** – Provision in Wholesale Contracts to Require Water Distribution According to Texas Water Code Section §11.039 – Sections 2 and 3
- **288.22(a)(9)** – Procedures for Granting Variances to the Plan - Section 2
- **288.22(a)(10)** - Procedures for Enforcement of Mandatory Restrictions – Section 2
- **288.22(b)** – TCEQ Notification of Implementation of Mandatory Measures – Sections 2 and 3
- **288.22(c)** – Review and Update of the Plan – Section 2

<u>TITLE 30</u>	ENVIRONMENTAL QUALITY
<u>PART 1</u>	TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
<u>CHAPTER 288</u>	WATER CONSERVATION PLANS, DROUGHT CONTINGENCY PLANS, GUIDELINES AND REQUIREMENTS
<u>SUBCHAPTER B</u>	DROUGHT CONTINGENCY PLANS
RULE §288.20	Drought Contingency Plans for Municipal Uses by Public Water Suppliers

(a) A drought contingency plan for a retail public water supplier, where applicable, must include the following minimum elements.

(1) Minimum requirements. Drought contingency plans must include the following minimum elements.

(A) Preparation of the plan shall include provisions to actively inform the public and affirmatively provide opportunity for public input. Such acts may include, but are not limited to, having a public meeting at a time and location convenient to the public and providing written notice to the public concerning the proposed plan and meeting.

(B) Provisions shall be made for a program of continuing public education and information regarding the drought contingency plan.

(C) The drought contingency plan must document coordination with the regional water planning groups for the service area of the retail public water supplier to ensure consistency with the appropriate approved regional water plans.

(D) The drought contingency plan must include a description of the information to be monitored by the water supplier, and specific criteria for the initiation and termination of drought response stages, accompanied by an explanation of the rationale or basis for such triggering criteria.

(E) The drought contingency plan must include drought or emergency response stages providing for the implementation of measures in response to at least the following situations:

- (i) reduction in available water supply up to a repeat of the drought of record;
 - (ii) water production or distribution system limitations;
 - (iii) supply source contamination; or
 - (iv) system outage due to the failure or damage of major water system components (e.g., pumps).
-

(F) The drought contingency plan must include specific, quantified targets for water use reductions to be achieved during periods of water shortage and drought. The entity preparing the plan shall establish the targets. The goals established by the entity under this subparagraph are not enforceable.

(G) The drought contingency plan must include the specific water supply or water demand management measures to be implemented during each stage of the plan including, but not limited to, the following:

(i) curtailment of non-essential water uses; and

(ii) utilization of alternative water sources and/or alternative delivery mechanisms with the prior approval of the executive director as appropriate (e.g., interconnection with another water system, temporary use of a non-municipal water supply, use of reclaimed water for non-potable purposes, etc.).

(H) The drought contingency plan must include the procedures to be followed for the initiation or termination of each drought response stage, including procedures for notification of the public.

(I) The drought contingency plan must include procedures for granting variances to the plan.

(J) The drought contingency plan must include procedures for the enforcement of mandatory water use restrictions, including specification of penalties (e.g., fines, water rate surcharges, discontinuation of service) for violations of such restrictions.

(2) Privately-owned water utilities. Privately-owned water utilities shall prepare a drought contingency plan in accordance with this section and incorporate such plan into their tariff.

(3) Wholesale water customers. Any water supplier that receives all or a portion of its water supply from another water supplier shall consult with that supplier and shall include in the drought contingency plan appropriate provisions for responding to reductions in that water supply.

(b) A wholesale or retail water supplier shall notify the executive director within five business days of the implementation of any mandatory provisions of the drought contingency plan.

(c) The retail public water supplier shall review and update, as appropriate, the drought contingency plan, at least every five years, based on new or updated information, such as the adoption or revision of the regional water plan.

Source Note: The provisions of this §288.20 adopted to be effective February 21, 1999, 24 TexReg 949; amended to be effective April 27, 2000, 25 TexReg 3544; amended to be effective October 7, 2004, 29 TexReg 9384

TITLE 30

ENVIRONMENTAL QUALITY

PART 1

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

CHAPTER 288

WATER CONSERVATION PLANS, DROUGHT CONTINGENCY PLANS,
GUIDELINES AND REQUIREMENTS

SUBCHAPTER B

DROUGHT CONTINGENCY PLANS

RULE §288.22

Drought Contingency Plans for Wholesale Water Suppliers

(a) A drought contingency plan for a wholesale water supplier must include the following minimum elements.

(1) Preparation of the plan shall include provisions to actively inform the public and to affirmatively provide opportunity for user input in the preparation of the plan and for informing wholesale customers about the plan. Such acts may include, but are not limited to, having a public meeting at a time and location convenient to the public and providing written notice to the public concerning the proposed plan and meeting.

(2) The drought contingency plan must document coordination with the regional water planning groups for the service area of the wholesale public water supplier to ensure consistency with the appropriate approved regional water plans.

(3) The drought contingency plan must include a description of the information to be monitored by the water supplier and specific criteria for the initiation and termination of drought response stages, accompanied by an explanation of the rationale or basis for such triggering criteria.

(4) The drought contingency plan must include a minimum of three drought or emergency response stages providing for the implementation of measures in response to water supply conditions during a repeat of the drought-of-record.

(5) The drought contingency plan must include the procedures to be followed for the initiation or termination of drought response stages, including procedures for notification of wholesale customers regarding the initiation or termination of drought response stages.

(6) The drought contingency plan must include specific, quantified targets for water use reductions to be achieved during periods of water shortage and drought. The entity preparing the plan shall establish the targets. The goals established by the entity under this paragraph are not enforceable.

(7) The drought contingency plan must include the specific water supply or water demand management measures to be implemented during each stage of the plan including, but not limited to, the following:

(A) pro rata curtailment of water deliveries to or diversions by wholesale water customers as provided in Texas Water Code, §11.039; and

(B) utilization of alternative water sources with the prior approval of the executive director as appropriate (e.g., interconnection with another water system, temporary use of a non-municipal water supply, use of reclaimed water for non-potable purposes, etc.).

(8) The drought contingency plan must include a provision in every wholesale water contract entered into or renewed after adoption of the plan, including contract extensions, that in case of a shortage of water resulting from drought, the water to be distributed shall be divided in accordance with Texas Water Code, §11.039.

(9) The drought contingency plan must include procedures for granting variances to the plan.

(10) The drought contingency plan must include procedures for the enforcement of any mandatory water use restrictions including specification of penalties (e.g., liquidated damages, water rate surcharges, discontinuation of service) for violations of such restrictions.

(b) The wholesale public water supplier shall notify the executive director within five business days of the implementation of any mandatory provisions of the drought contingency plan.

(c) The wholesale public water supplier shall review and update, as appropriate, the drought contingency plan, at least every five years, based on new or updated information, such as adoption or revision of the regional water plan.

Source Note: The provisions of this §288.22 adopted to be effective February 21, 1999, 24 TexReg 949; amended to be effective April 27, 2000, 25 TexReg 3544; amended to be effective October 7, 2004, 29 TexReg 9384

Appendix C

TCEQ Water Utility Profile

The following appendix contains the form TCEQ-10218 and/or TCEQ-20162.



Texas Commission on Environmental Quality

Water Availability Division

MC-160, P.O. Box 13087 Austin, Texas 78711-3087

Telephone (512) 239-4600, FAX (512) 239-2214

Utility Profile and Water Conservation Plan Requirements for Municipal Water Use by Retail Public Water Suppliers

This form is provided to assist retail public water suppliers in water conservation plan assistance in completing this form or in developing your plan, please contact the Conservation staff of the Resource Protection Team in the Water Availability Division at (512) 239-4600.

Water users can find best management practices (BMPs) at the Texas Water Development Board's website <http://www.twdb.texas.gov/conservation/BMPs/index.asp>. The practices are broken out into sectors such as Agriculture, Commercial and Institutional, Industrial, Municipal and Wholesale. BMPs are voluntary measures that water users use to develop the required components of Title 30, Texas Administrative Code, Chapter 288. BMPs can also be implemented in addition to the rule requirements to achieve water conservation goals.

Contact Information

Name of Water Supplier: City of Rockwall

Address: 365 S. Goliad, Rockwall, Texas 75087

Telephone Number: (972) 771-7700 Fax: (972) 771-7730

Water Right No.(s): 13733

Regional Water Planning Group: C

Water Conservation Coordinator (or person responsible for implementing conservation program): Stacy Dean Phone: (972) 771-7730

Form Completed by: Rick Sherer

Title: Water / Wastewater Manager

Signature: _____ Date: / /

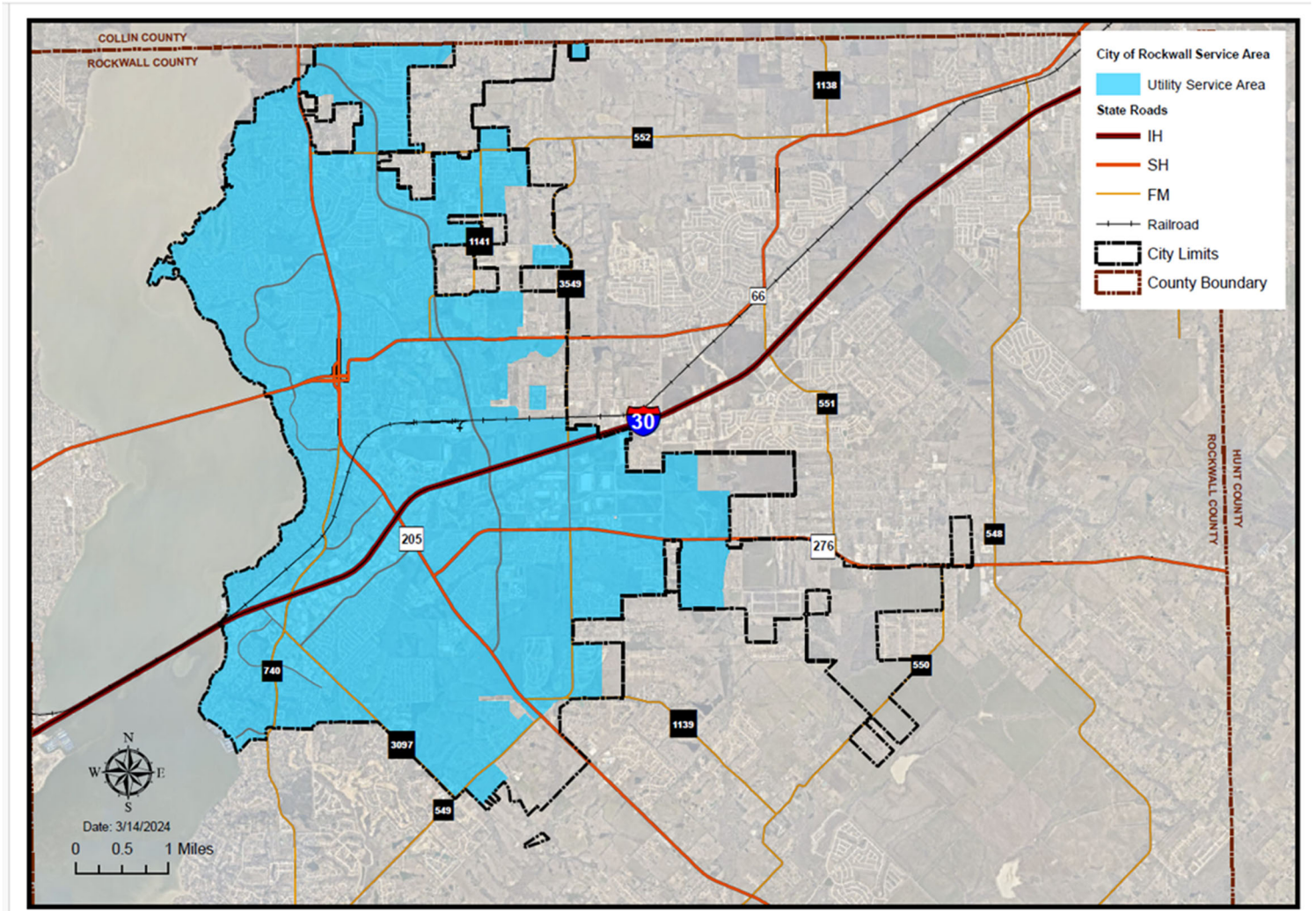
A water conservation plan for municipal use by retail public water suppliers must include the following requirements (as detailed in 30 TAC Section 288.2). If the plan does not provide information for each requirement, you must include in the plan an explanation of why the requirement is not applicable.

Utility Profile

I. POPULATION AND CUSTOMER DATA

A. Population and Service Area Data

1. Attach a copy of your service-area map and, if applicable, a copy of your Certificate of Convenience and Necessity (CCN).



2. Service area size (in square miles): 24.95
(Please attach a copy of service-area map)
3. Current population of service area: 57,518 (using 2022 US Census Bureau ACS 3.12 pph)
4. Current population served for:
 - a. Water 57,518
 - b. Wastewater 56,053

5. Population served for previous five years:

<i>Year</i>	<i>Population</i>
2019	44,110
2020	45,010
2021	45,740
2022	49,300
2023	51,054

6. Projected population for service area in the following decades:

<i>Year</i>	<i>Population</i>
2020	45,010
2030	60,687
2040	77,685
2050	99,483
2060	124,933

7. List source or method for the calculation of current and projected population size.

North Central Texas Council of Governments/City of Rockwall Estimates (2.5% CAGR)

B. Customer Data

Senate Bill 181 requires that uniform consistent methodologies for calculating water use and conservation be developed and available to retail water providers and certain other water use sectors as a guide for preparation of water use reports, water conservation plans, and reports on water conservation efforts. A water system must provide the most detailed level of customer and water use data available to it, however, any new billing system purchased must be capable of reporting data for each of the sectors listed below. More guidance can be found at: <http://www.twdb.texas.gov/conservation/doc/SB181Guidance.pdf>

1. Quantified 5-year and 10-year goals for water savings:

	<i>Historic 5-year Average</i>	<i>Baseline</i>	<i>5-year goal for year 2029</i>	<i>10-year goal for year 2034</i>
Total GPCD	169	171	192	185
Residential GPCD	100	105	113	110
Water Loss GPCD	21	15	14	12
Water Loss Percentage	8	6	7	5

Notes:

Total GPCD = (Total Gallons in System ÷ Permanent Population) ÷ 365

Residential GPCD = (Gallons Used for Residential Use ÷ Residential Population) ÷ 365

Water Loss GPCD = (Total Water Loss ÷ Permanent Population) ÷ 365

Water Loss Percentage = (Total Water Loss ÷ Total Gallons in System) x 100; or (Water Loss GPCD ÷ Total GPCD) x 100

2. Current number of active connections. Check whether multi-family service is counted as Residential or Commercial?

<i>Treated Water Users</i>	<i>Metered</i>	<i>Non-Metered</i>	<i>Totals</i>
Residential	16203	0	16203
Single-Family	16052	0	16052
Multi-Family	151	0	151
Commercial	1618	0	1618
Industrial/Mining	21	0	21
Institutional	237	0	237
Agriculture	0	0	0
Other/Wholesale	0	0	0

3. List the number of new connections per year for most recent three years.

<i>Year</i>	<i>2021</i>	<i>2022</i>	<i>2023</i>
<i>Treated Water Users</i>			
Residential			
Single-Family	368	411	261
Multi-Family	0	0	5
Commercial	147	0	0
Industrial/Mining	0	0	0
Institutional	3	7	0
Agriculture	0	0	0
Other/Wholesale	0	0	0

4. List of annual water use for the five highest volume customers.

<i>Customer</i>	<i>Use (1,000 gal/year)</i>	<i>Treated or Raw Water</i>
City of Rockwall	51,252,600.00	Treated
Rockwall I.S.D	43,852,100.00	Treated
Pegasus Food, Inc.	19,321,100.00	Treated
Continental Can	19,115,600.00	Treated
Florence at the Harbor	18,529,000.00	Treated

II. WATER USE DATA FOR SERVICE AREA

A. Water Accounting Data

1. List the amount of water use for the previous five years (in 1,000 gallons).

Indicate whether this is diverted or treated water.

<i>Year</i>	2019	2020	2021	2022	2023
<i>Month</i>					
January	113000	126000	151000	159000	164000
February	97000	99000	112000	127000	119000
March	115000	102000	142000	130000	131000
April	121000	109000	165000	144000	127000
May	121000	150000	172000	155000	180000
June	174000	215000	139000	248000	231000
July	178000	280000	232000	309000	240000
August	357000	292000	271000	491000	347000
September	283000	312000	319000	298000	496000
October	244000	249000	263000	268000	318000
November	173000	185000	188000	230000	283000
December	117000	139000	149000	139000	163000
Totals	2094000	2258000	2303000	2700000	2799000

2. Describe how the above figures were determined (e.g, from a master meter located at the point of a diversion from the source or located at a point where raw water enters the treatment plant, or from water sales).

Water Sales

3. Amount of water (in 1,000 gallons) delivered/sold as recorded by the following account types for the past five years.

<i>Year</i>	2019	2020	2021	2022	2023
<i>Account Types</i>					
Residential	1512000	1647000	1597000	1892000	1973000
Single-Family	1424000	1551000	1507000	1794000	1870000
Multi-Family	88000	96000	90000	98000	103000
Commercial	513000	531000	543000	652000	655000
Industrial/Mining	47000	59000	50000	39000	53000
Institutional	110000	119000	114000	117000	117000
Agriculture	0	0	0	0	0
Other/Wholesale	1350000	1488000	1394000	1630000	1636000

4. List the previous records for water loss for the past five years (the difference between water diverted or treated and water delivered or sold).

<i>Year</i>	<i>Amount (gallons)</i>	<i>Percent %</i>
2019	292000	11
2020	380000	14
2021	411000	15
2022	268000	9
2023	346000	11

B. Projected Water Demands

1. If applicable, attach or cite projected water supply demands from the applicable Regional Water Planning Group for the next ten years using information such as population trends, historical water use, and economic growth in the service area over the next ten years and any additional water supply requirements from such growth.

The City's current treated water supply capacities from NTMWD include 17.5-MGD at the Eastside Pump Station (PS) Delivery Point, and 11.0-MGD at the Heath Street PS Delivery Point, for a total supply capacity of 28.5-MGD. However, the NTMWD will be completing capacity improvements in their regional water system, which are projected to be complete by year 2027. Based on input from the NTMWD, once these capacity improvements are placed in service, the City's maximum supply capacity will be increased to 23.0-MGD at the Eastside PS, and 13.0-MGD at the Heath Street PS, for a total max supply capacity of 36.0-MGD.

Using the historical NTMWD supply meter data for August 2023 that was provided by the City of Rockwall, we estimate in the range of 22.0-MGD was supplied on a max day basis to meet the City’s water demands. This also includes a pass-through water supply of approximately 4.0-MGD to the City of Heath’s PS. Using the supply requirement of 22-MGD as the baseline for year 2024 and applying a 3% compound annual growth rate (CAGR) as shown by the City’s 10-year land use projections updated in year 2024, the projected supply required at year 2034 is expected to be in the range of 29.6-MGD. Therefore, based on these assumptions, the total supply capacity of 36.0-MGD will be adequate to meet projected water demands through year 2034. Extending the projection beyond year 2034 based on these same assumptions, the City would need to secure additional water supply capacity prior to year 2040. Additional water supply capacity beyond the threshold of 36.0-MGD is expected to be provided via a new treated water supply delivery point from the NTMWD at either the future SH 276 PS or the future Hays PS.

SUMMARY OF WATER/WASTEWATER SERVICE AREA

III. WATER SUPPLY SYSTEM DATA

A. Water Supply Sources

1. List all current water supply sources and the amounts authorized (in acre feet) with each.

<i>Water Type</i>	<i>Source</i>	<i>Amount Authorized</i>
Surface Water	NTMWD	14,513-acre feet
Groundwater	N/A	N/A
Other	N/A	N/A

B. Treatment and Distribution System (if providing treated water)

1. Design daily capacity of system (MGD): 35,200
2. Storage capacity (MGD):
 - a. Elevated 5,000,000
 - b. Ground 7,000,000
3. If surface water, do you recycle filter backwash to the head of the plant?
 Yes No If yes, approximate amount (MGD):

IV. WASTEWATER SYSTEM DATA

A. Wastewater System Data (if applicable)

1. Design capacity of wastewater treatment plant(s) (MGD): 2.25 MGD Buffalo, 1.2 MG Squabble

2. Treated effluent is used for on-site irrigation, off-site irrigation, for plant wash-down, and/or for chlorination/dechlorination.

If yes, approximate amount (in gallons per month): 6 mgals/month off-site irrigation (varies seasonally), 5 mgals/month for wash-down and chlor/dechlor

3. Briefly describe the wastewater system(s) of the area serviced by the water utility. Describe how treated wastewater is disposed. Where applicable, identify treatment plant(s) with the TCEQ name and number, the operator, owner, and the receiving stream if wastewater is discharged.

The northern part of Rockwall flows to the Squabble Creek WWTP, TPDES Permit No. WQ0010262001, which discharges to Squabble Creek and Lake Ray Hubbard. Dewatered solids are disposed of at NTMWD 121 Regional Disposal Facility.

The southern part of Rockwall, and flow from northern Rockwall not treated at Squabble Creek WWTP, flows to the Buffalo Creek WWTP, TPDES Permit No. WQ0012047001, which discharges to Buffalo Creek and the East Fork Trinity River. Solids are sent via pipeline to South Mesquite Creek WWTP for dewatering and disposal.

Any flow not treated at Buffalo Creek WWTP flows to the South Mesquite Creek WWTP, TPDES Permit No. WQ0010221001, which discharges to South Mesquite Creek and East Fork Trinity River. Dewatered solids are disposed of at Waste Management Skyline Regional Disposal Facility.

B. Wastewater Data for Service Area (if applicable)

1. Percent of water service area served by wastewater system: 95%
2. Monthly volume treated for previous five years (in 1,000 gallons): Buffalo and Squabble WWTPs

<i>Year</i>	2019	2020	2021	2022	2023
<i>Month</i>					
January	62,516	46,153	46,552	51,312	35,872
February	57,443	57,816	37,338	41,290	37,782
March	57,271	58,325	31,973	46,210	48,135
April	63,245	45,605	36,214	50,537	46,611
May	65,628	53,794	55,122	50,421	42,283
June	58,690	61,301	49,893	49,830	31,520
July	69,578	48,455	55,309	39,532	32,233
August	50,034	39,587	49,026	41,318	41,668
September	61,460	32,033	37,140	37,942	44,257
October	58,436	31,380	39,266	44,893	45,323
November	59,300	38,838	35,601	43,978	49,596
December	49,949	42,936	57,752	39,555	46,693
Totals	713,550	556,223	531,186	536,818	501,973

Appendix D
NTMWD Member City and
Customer Annual Water
Conservation Report

APPENDIX D
NTMWD MEMBER CITY AND CUSTOMER WATER CONSERVATION REPORT
Due: March 31 of every year

Contact Information

TWDB Survey Number:	739400
Name of System:	City of Rockwall
PWS ID:	TX 1990001
Contact Name:	JESSICA CORPUS
Title:	UTILITY BILLING SUPERVISOR
Email Address:	JCORPUS@ROCKWALL.COM
Telephone Number:	972-772-7736
Year Covered:	2023

Water System Information

Estimated Water Service Area Population:	51,054
# of Backflow Preventers:	12,840
Billed Unmetered (MG):	
Unbilled Metered (MG):	
Unbilled Unmetered (MG):	145

Source: City of Rockwall GIS Data

Description: N/A
Description: N/A
Description: Flushing, Sampling, Sewer Cleaning, Fire and water leak.

Water System Information by Delivery Point

Delivery Point	Total System	1D	2
Peak Day (MG)	31.87	21.10	10.77
Firm Pumping Capacity (MGD)	38.88	33.12	5.76
Storage Volume (MG)	12.00	7.00	5.00

Water Conservation Plan 5- and 10-Year Goals for Water Savings

	5-Year Goal	10-Year Goal	
Total GPCD	130	127	<i>Total GPCD = (Total Gallons in System / Permanent Population) / 365</i>
Residential GPCD	93	92	<i>Residential GPCD = (Gallons Used for Residential Use / Residential Population) / 365</i>
Water Loss (GPCD)	24	22	<i>Water Loss GPCD = (Total Water Loss / Permanent Population) / 365</i>
Water Loss (Percentage)	13%	11%	<i>Water Loss Percentage = (Total Water Loss / Total Gallons in System) x 100; or (Water Loss GPCD / Total GPCD) x 100</i>

Retail Water Metered by Month (in Million Gallons):

Sales by Category

Month	Residential Single Family	Residential Multi-Family	Public/Institutional	Commercial	Industrial	Agriculture	Metered Irrigation	Direct Reuse
January	104.452	8.243	7.817	40.356	3.131			
February	74.944	7.242	2.871	31.080	3.334			
March	80.720	6.000	4.479	39.528	0.589			
April	87.388	4.652	4.064	30.201	0.640			
May	112.666	12.035	4.910	45.409	4.718			
June	155.435	8.071	9.392	56.815	1.450			
July	162.684	8.262	10.325	54.796	3.447			
August	255.706	8.566	13.738	66.133	2.427			
September	339.898	12.852	20.426	103.033	19.682			
October	211.165	10.434	18.861	73.344	3.736			
November	181.083	9.783	14.581	72.020	5.397			
December	104.250	6.658	5.668	42.177	4.146			
# of Connections (or Units)	16,052	151	237	1,618	21			

Recorded Supplies from Sources other than NTMWD by Month (in Million Gallons):

	Source 1	Source 2	Source 3	Source 4	Source 5	Source 6	Source 7	Source 8
<i>Name of Water Provider</i>								
<i>Type of Water</i>								
<i>Name of Source</i>								
January								
February								
March								
April								
May								
June								
July								
August								
September								
October								
November								
December								

Wholesale Water Sales to Other Water Systems (in Million Gallons):

	Sale 1	Sale 2	Sale 3	Sale 4	Sale 5	Sale 6	Sale 7	Sale 8
<i>Buyer Name</i>	BLACKLAND	RCH	HEATH					
<i>Type of Water</i>	Surface Water	Surface Water	Surface Water					
<i>Name of Source</i>	CONNECTIONS X3	CONNECTIONS X3	NCTCOG					
<i>Estimated Water Service Area Population</i>	5,754	8,106	10,363					
January	15.267	19.474	47.023					
February	14.874	34.042	34.042					
March	12.358	18.320	40.431					
April	12.359	26.160	63.275					
May	15.464	26.749	77.734					
June	18.693	44.345	109.077					
July	24.114	57.168	123.784					
August	39.676	63.210	165.557					
September	25.895	46.681	127.229					
October	20.956	37.107	97.369					
November	14.757	25.819	56.423					
December	13.203	21.253	46.040					

Water Sales to Industrial Production Facilities (in Million Gallons):

	Sale 1	Sale 2	Sale 3	Sale 4	Sale 5	Sale 6	Sale 7	Sale 8
<i>Buyer Name</i>								
<i>Type of Water</i>								
<i>Name of Source</i>								
January								
February								
March								
April								
May								
June								
July								
August								
September								
October								
November								
December								

Additional Information

Describe Any ICIM (Industrial, Commercial, Institutional & Multi-Family) Practices being Implemented to Improve Water Efficiency

Describe any Unusual Circumstances

Provide an Update on Progress in Implementation of Conservation Plan

Currently working towards adoption of updated Conservation and Drought Plans for 2024.

What Conservation Measures are Planned for Next Year?

Continue to educate public through:

Social Media

City News Letter

Inserts in water bills

Educational material on City website that includes links to:

Water My Yard Tool

EPA – Water Sense

Texas Smartscapes

Texas Wildscapes

Texas Water Smart

Texas Urban Landscape Guide

Texas – North Central Texas Recommended

Water My Yard Tool

Water IQ

Promote water conservation at City sponsored events

Historical Water Use Data for City of Rockwall

Year	Days in Year	Connections	Estimated Population	Deliveries from NTMWD (MG)	Other Supplies (MG)	Metered Sales by Category (Million Gallons)									Total
						Residential Single Family	Residential Multi-Family	Public/ Institutional	Commercial	Industrial	Agriculture	Metered Irrigation	Wholesale	Direct Reuse	
1990	365	4,221	10,400	902	0	950	0	0	0	0	0	0	255	0	1,206
1991	365	4,332	10,600	988	0	1,051	0	0	0	0	0	0	270	0	1,321
1992	366	4,489	11,000	834	0	1,014	0	0	0	0	0	0	279	0	1,293
1993	365	4,530	11,400	1,144	0	1,161	0	0	0	0	0	0	340	0	1,501
1994	365	4,680	12,700	1,136	0	1,118	0	0	0	0	0	0	330	0	1,449
1995	365	4,966	13,000	1,247	0	1,190	0	0	0	0	0	0	384	0	1,574
1996	366	5,233	13,800	1,360	0	1,395	0	0	0	0	0	0	381	0	1,776
1997	365	5,582	15,350	1,263	0	1,280	0	0	0	0	0	0	441	0	1,721
1998	365	6,256	17,204	1,623	0	1,721	0	0	0	0	0	0	502	0	2,224
1999	365	6,482	17,825	1,818	0	1,098	0	0	0	0	0	0	558	0	1,657
2000	366	7,249	19,934	1,908	0	1,508	0	0	0	0	0	0	681	0	2,189
2001	365	8,162	22,445	2,010	0	1,392	0	0	0	0	0	0	710	0	2,102
2002	365	8,855	24,351	2,013	0	1,396	0	0	0	0	0	0	705	0	2,101
2003	365	9,788	26,917	2,295	0	1,660	0	0	0	0	0	0	786	0	2,446
2004	366	10,694	29,408	2,218	0	1,584	0	0	0	0	0	0	755	0	2,339
2005	365	11,413	31,385	3,001	0	1,481	0	0	0	0	0	0	1,098	0	2,578
2006	365	12,054	31,348	3,022	0	1,639	0	0	0	0	0	0	1,177	0	2,816
2007	365	12,280	31,407	2,333	0	1,624	0	0	0	0	0	0	863	0	2,487
2008	366	12,336	31,748	2,819	0	1,518	0	115	471	7	0	0	982	0	3,093
2009	365	12,598	35,000	2,961	0	1,451	0	92	480	5	0	0	877	0	2,905
2010	365	12,916	38,000	3,472	0	1,580	0	111	549	7	0	0	1,007	0	3,254
2011	365	13,161	38,586	3,463	0	1,733	0	129	633	7	0	0	1,162	0	3,664
2012	366	13,495	38,755	2,930	0	1,501	26	90	450	6	0	0	976	0	3,049
2013	365	14,648	40,800	2,895	0	1,413	99	68	414	4	0	0	807	0	2,805
2014	365	14,874	41,000	2,660	0	1,249	83	52	343	32	0	0	740	0	2,500
2015	365	15,283	41,000	2,555	0	1,508	0	92	400	34	0	0	758	0	2,792
2016	366	15,661	41,370	2,118	0	1,434	0	111	489	33	0	0	785	0	2,851
2017	365	16,037	41,370	3,156	0	1,401	89	105	467	40	0	0	794	0	2,897
2018	365	16,361	40,620	3,798	0	1,433	89	107	465	39	0	0	1,137	0	3,271
2019	365	16,600	42,280	3,913	0	1,424	88	110	513	47	0	0	1,350	0	3,532
2020	366	16,999	45,263	4,226	0	1,551	96	119	531	59	0	0	1,488	0	3,843
2021	365	17,513	46,173	4,183	0	1,507	90	114	543	50	0	0	1,394	0	3,697
2022	365	17,894	49,300	4,713	0	1,794	98	117	652	39	0	0	1,630	0	4,330
2023	365	18,079	51,054	4,925	0	1,870	103	117	655	53	0	0	1,636	0	4,434

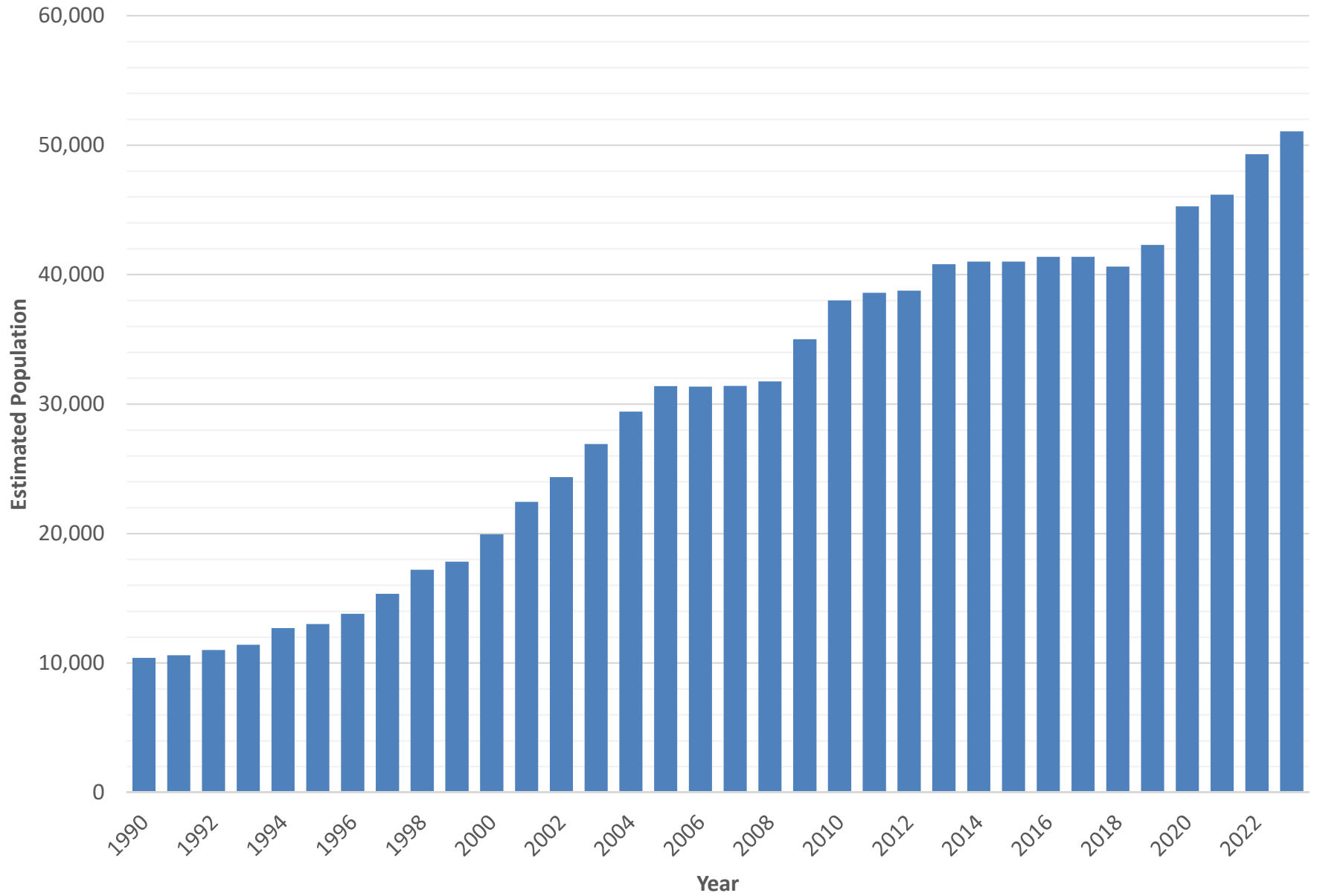
Note: After 2020, Residential sales were divided into single and multi-family classifications. Historical information from the TWDB Water Use Surveys were incorporated where available. The category of 'Other' was removed and replaced with 'Reuse'. Historical volumes for 'Other' were redistributed into the appropriate category when appropriate. These changes were made to be consistent with TWDB terminology.

Historical Per Capita Use Data and Water Loss for City of Rockwall

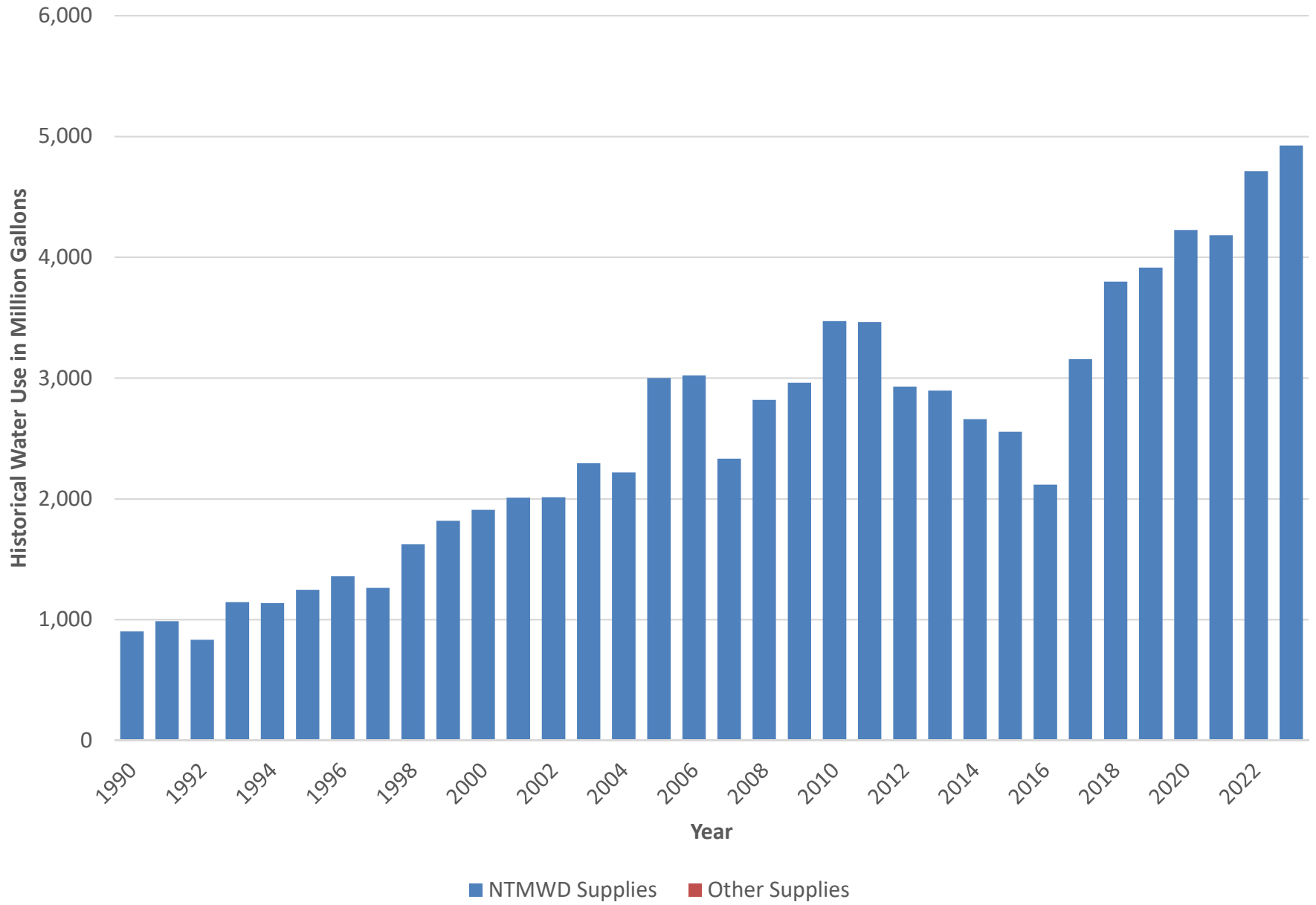
Year	Estimated Population	Total Use		Residential Use			Municipal Per Capita Use (gpcd)	ICIM Per Capita Use (gpcd)	Authorized Consumption				Water Loss							
		Total Per Capita Use (gpcd)	Total 5-Year Per Capita Goal	Total 10-Year Per Capita Goal	Residential Per Capita Use (gpcd)	Residential 5-Year Per Capita Goal			Residential 10-Year Per Capita Goal	Billed Metered (MG)	Billed Unmetered (MG)	Unbilled Metered (MG)	Unbilled Unmetered (MG)	Water Loss (MG)	Water Loss (gpcd)	Water Loss 5-Year Per Capita Goal	Water Loss 10-Year Per Capita Goal	Water Loss (percentage)	Water Loss (percentage) 5 Year Goal	Water Loss (percentage) 10 Year Goal
1995	13,000	182			251		182	0	1,574	0	0	0	0	-327	-69					-26%
1996	13,800	194			276		194	0	1,776	0	0	0	0	-415	-82					-31%
1997	15,350	147			228		147	0	1,721	0	0	0	0	-458	-82					-36%
1998	17,204	179			274		179	0	2,224	0	0	0	0	-601	-96					-37%
1999	17,825	194			169		194	0	1,657	0	0	0	0	162	25					9%
2000	19,934	168			207		168	0	2,189	0	0	0	0	-281	-38					-15%
2001	22,445	159			170		159	0	2,102	0	0	0	0	-92	-11					-5%
2002	24,351	147			157		147	0	2,101	0	0	0	0	-87	-10					-4%
2003	26,917	154			169		154	0	2,446	0	0	0	0	-151	-15					-7%
2004	29,408	136			147		136	0	2,339	0	0	0	0	-121	-11					-5%
2005	31,385	166			129		166	0	2,578	0	0	0	0	422	37					14%
2006	31,348	161			143		161	0	2,816	0	0	0	0	206	18					7%
2007	31,407	128			142		128	0	2,487	0	0	0	0	-154	-13					-7%
2008	31,748	158			131		158	51	3,093	0	0	13	-286	-25						-10%
2009	35,000	163			114		163	45	2,905	0	0	9	47	4						2%
2010	38,000	178			114		177	48	3,254	0	0	18	200	14						6%
2011	38,586	163			123		163	55	3,664	0	0	24	-226	-16						-7%
2012	38,755	138			108		137	40	3,049	0	0	10	-129	-9						-4%
2013	40,800	140			102		140	39	2,805	0	0	4	87	6						3%
2014	41,000	128			89		126	34	2,500	0	0	31	129	9						5%
2015	41,000	120			101		118	35	2,792	0	0	19	-257	-17						-10%
2016	41,370	88			95		86	42	2,851	0	0	16	-749	-49						-35%
2017	41,370	156			99		154	46	2,103	6	0	16	238	16						10%
2018	40,620	179			103		177	47	2,134	0	99	32	396	27						15%
2019	42,280	166	130	127	98	93	163	49	2,182	0	45	45	292	19	24	22	11%	13%	11%	
2020	45,263	165	130	127	99	93	162	49	2,355	0	2	1	380	23	24	22	14%	13%	11%	
2021	46,173	165	130	127	95	93	162	47	2,303	0	0	75	411	24	24	22	15%	13%	11%	
2022	49,300	171	130	127	105	93	169	50	2,700	0	1	114	268	15	24	22	9%	13%	11%	
2023	51,054	177	130	127	106	93	174	50	2,798	0	0	145	346	19	24	22	11%	13%	11%	

Note:
 In-city municipal use = total water supplied less sales to industry, wholesale sales and other sales.
 After 2017 - Unaccounted Water has been removed and replaced with Water Losses (per TWDB definition). This category is inclusive of real and apparent losses. Categories for authorized consumption were also added; Unbilled metered replaced estimated fire use, unbilled unmetered replaced estimated line flushing, and a new category for billed unmetered sales was added.

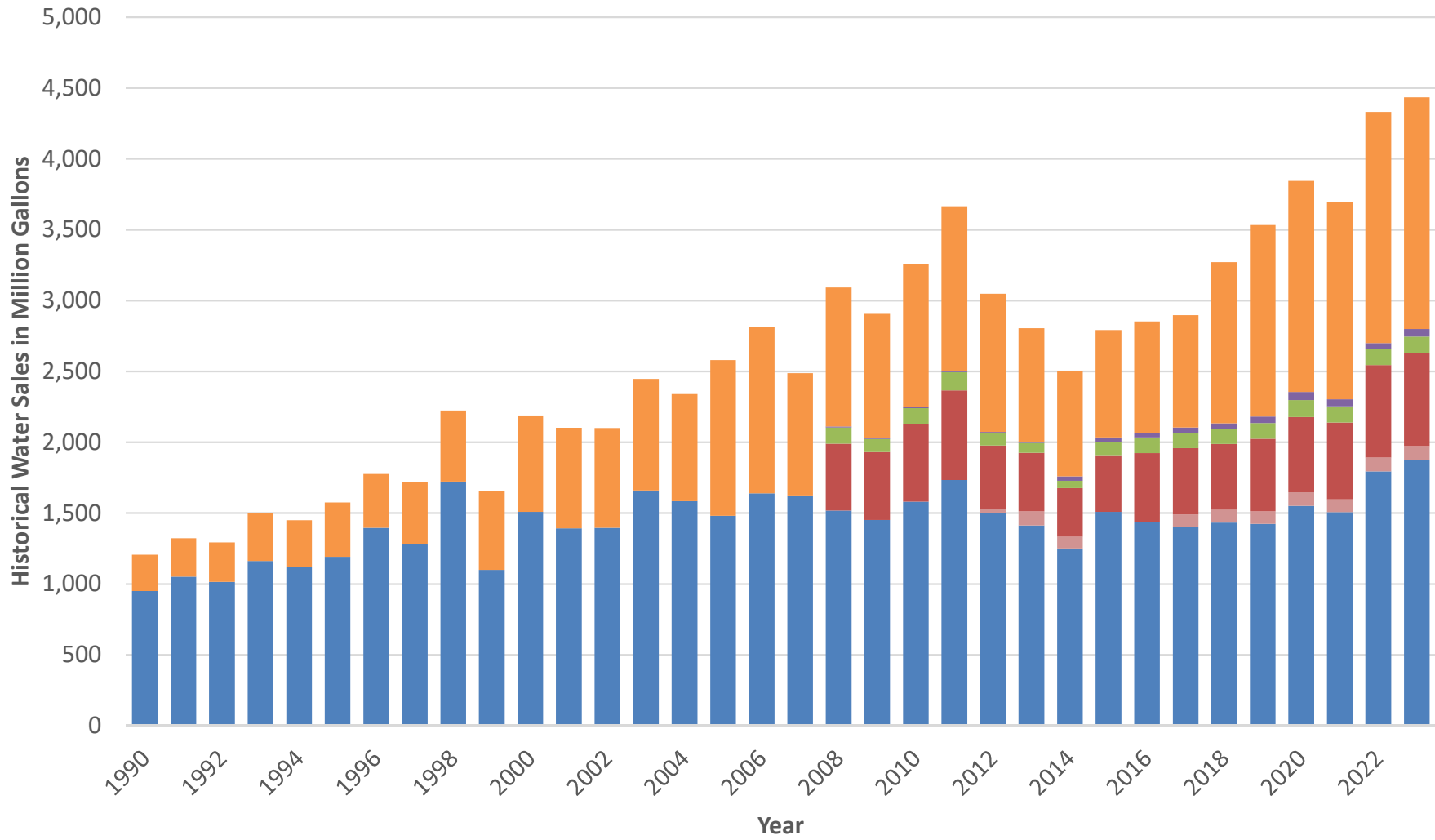
Estimated Historical Population



Historical Water Use

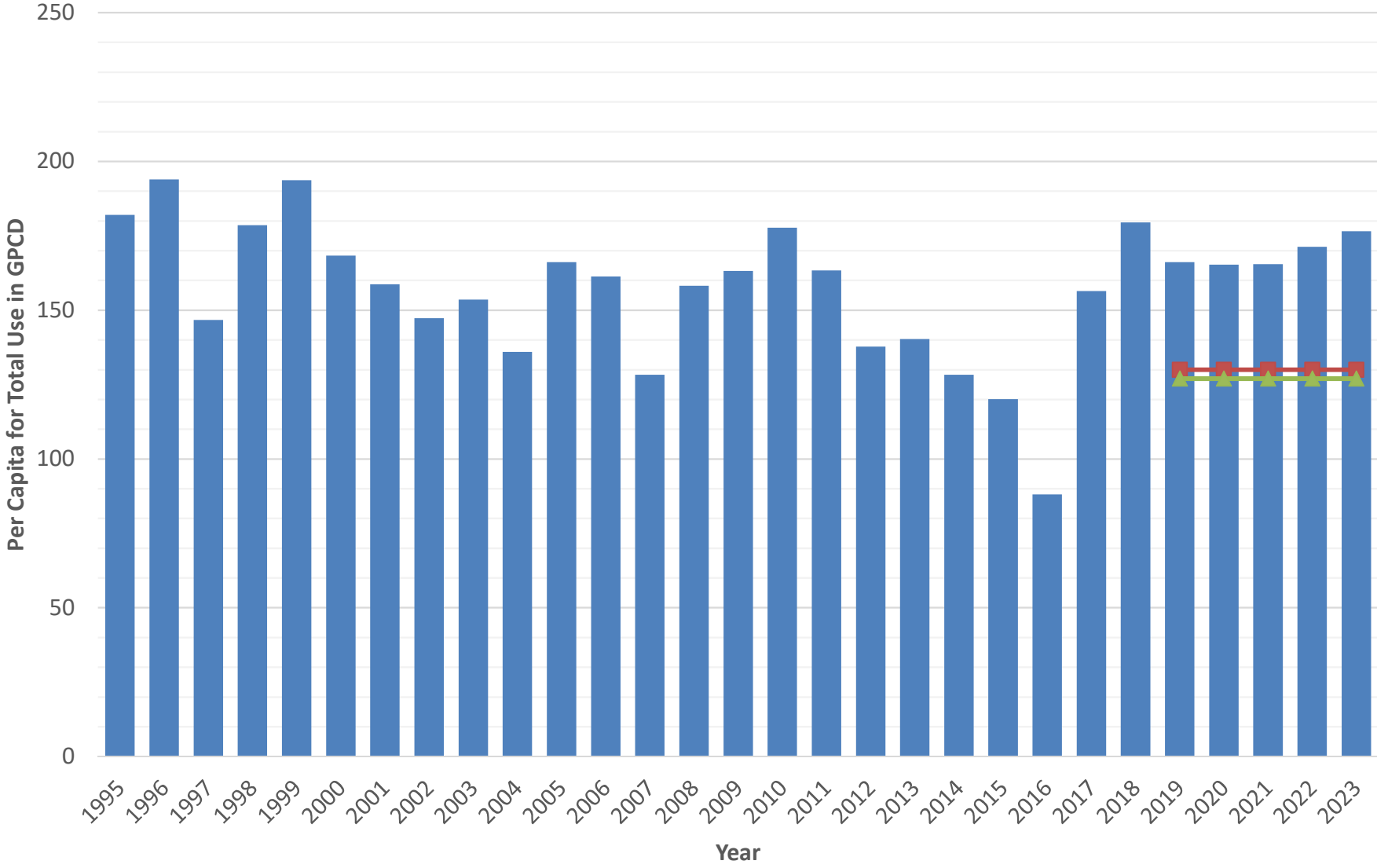


Historical Water Sales by Classification



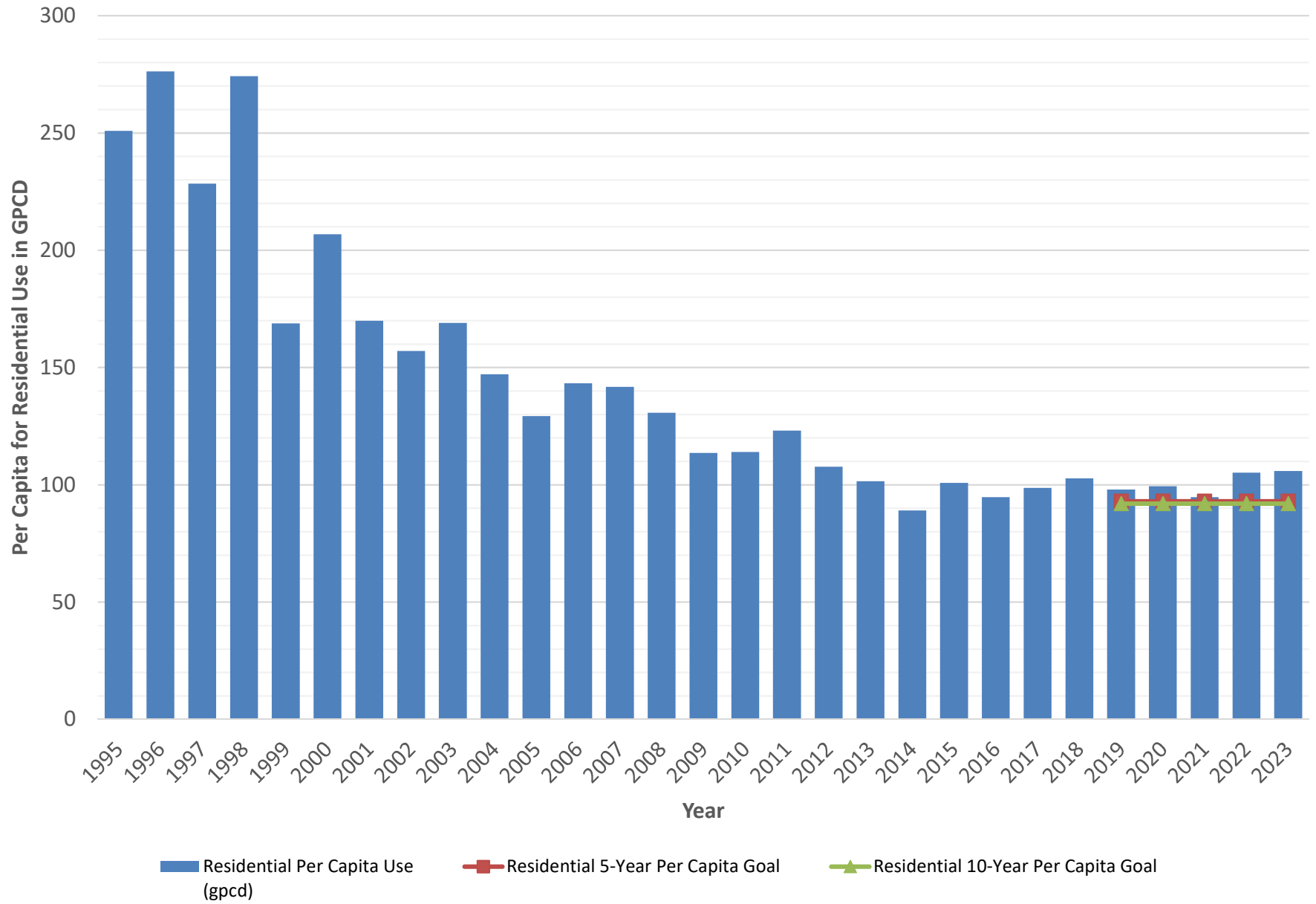
- Residential Single Family
- Residential Multi-Family
- Commercial
- Public/ Institutional
- Industrial
- Metered Irrigation
- Wholesale
- Direct Reuse
- Agriculture

Historical Total Per Capita Use

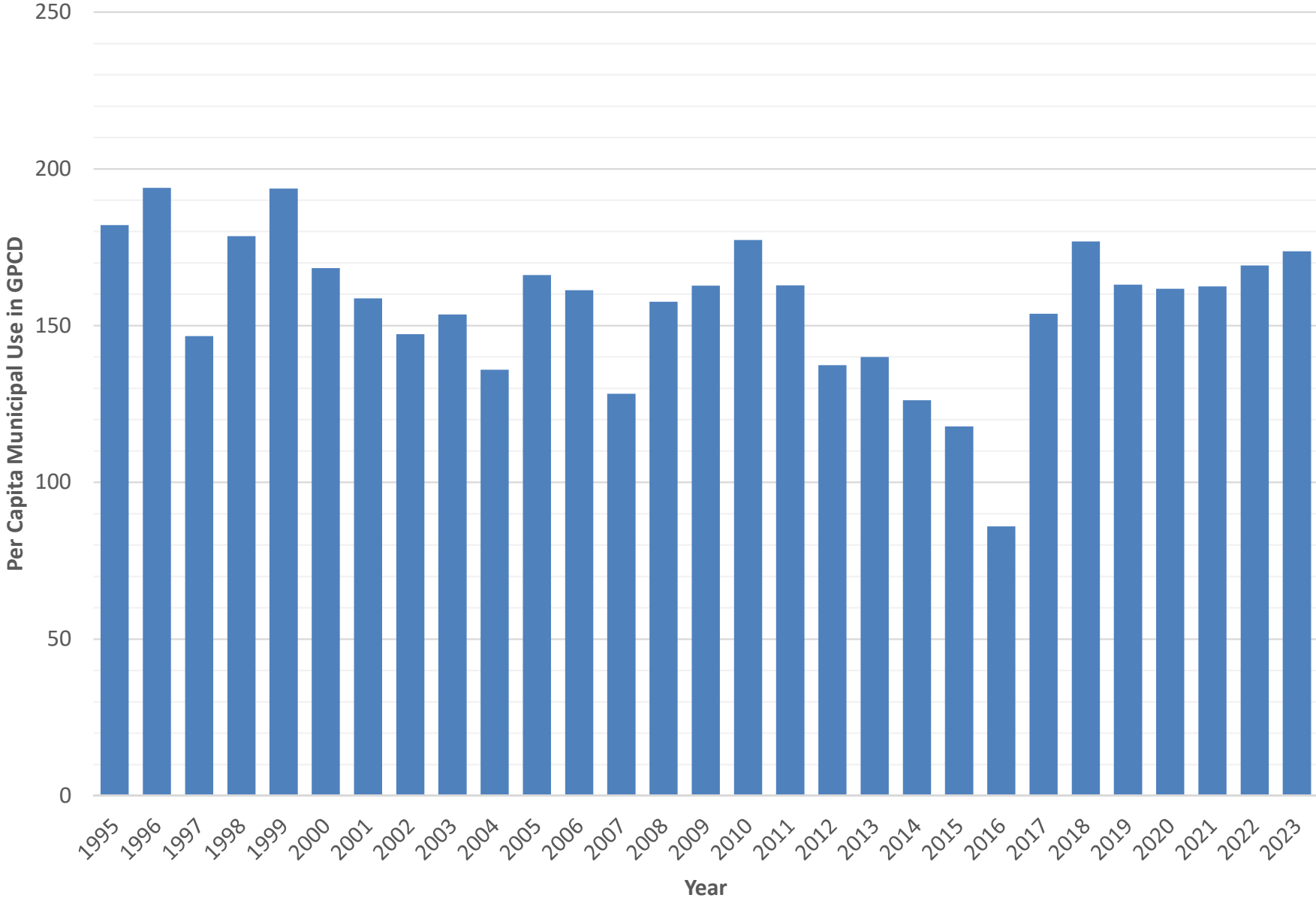


■ Total Per Capita Use (gpcd) ■ Total 5-Year Per Capita Goal ▲ Total 10-Year Per Capita Goal

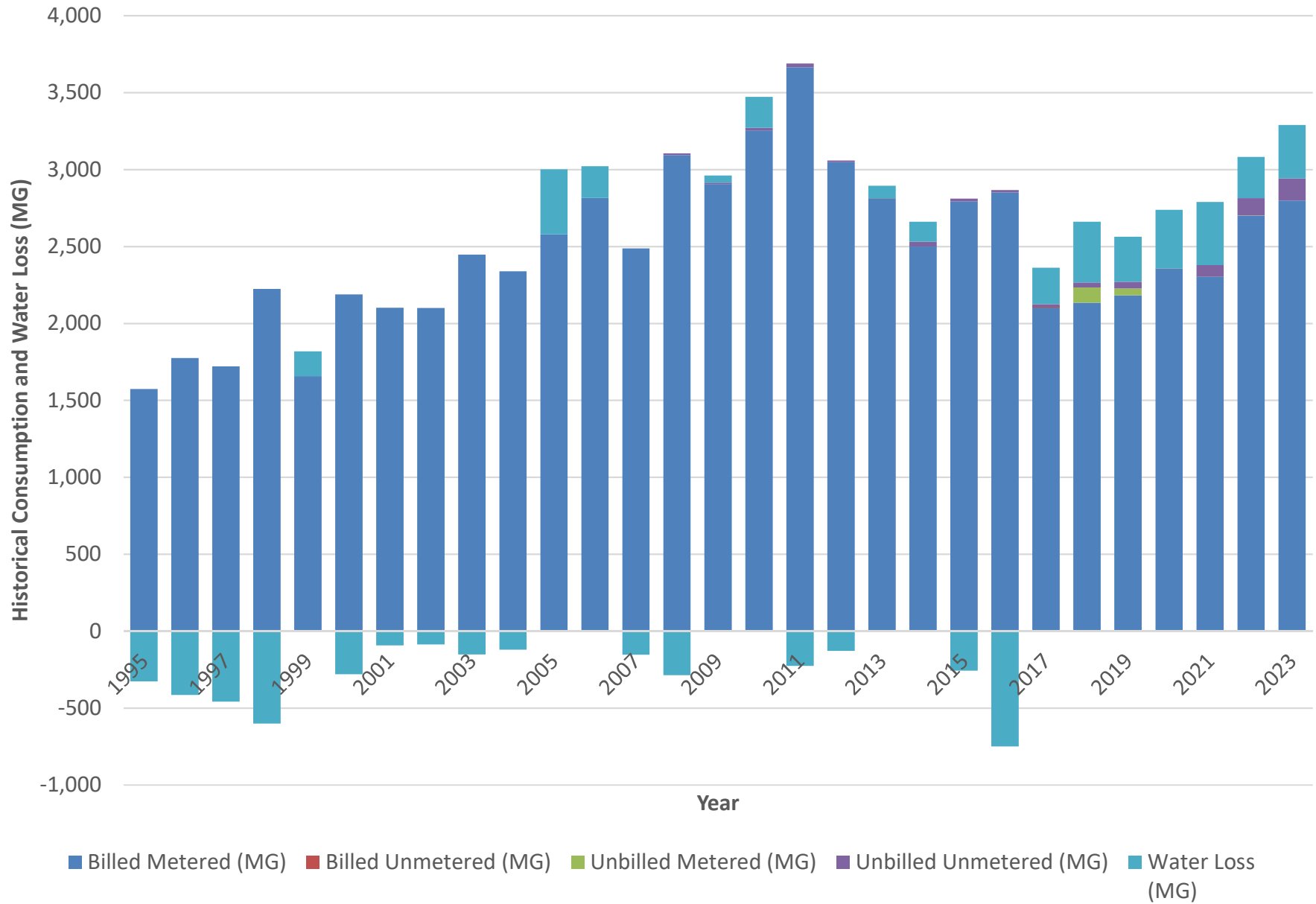
Historical Residential Per Capita Use



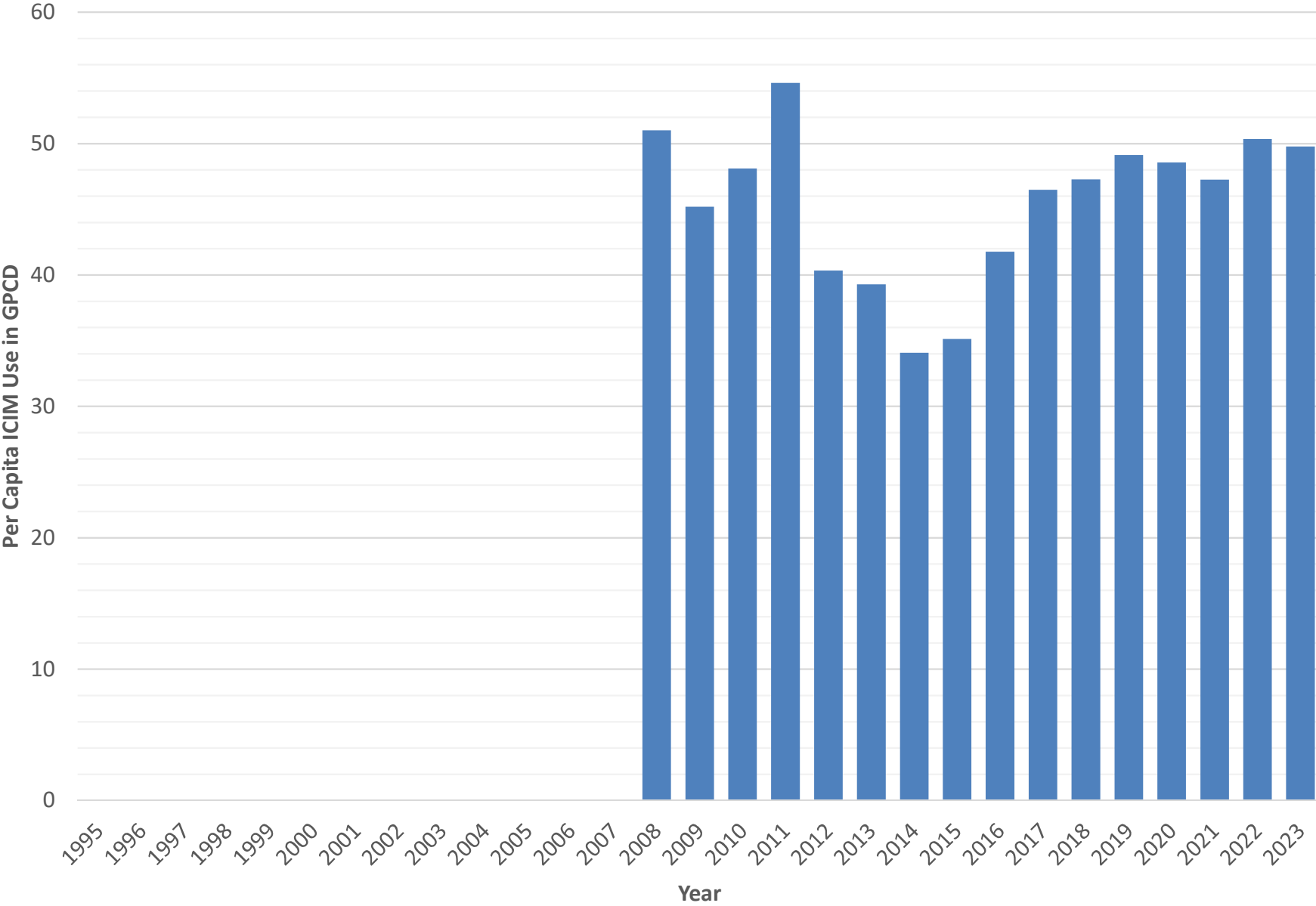
Historical Municipal Per Capita Use



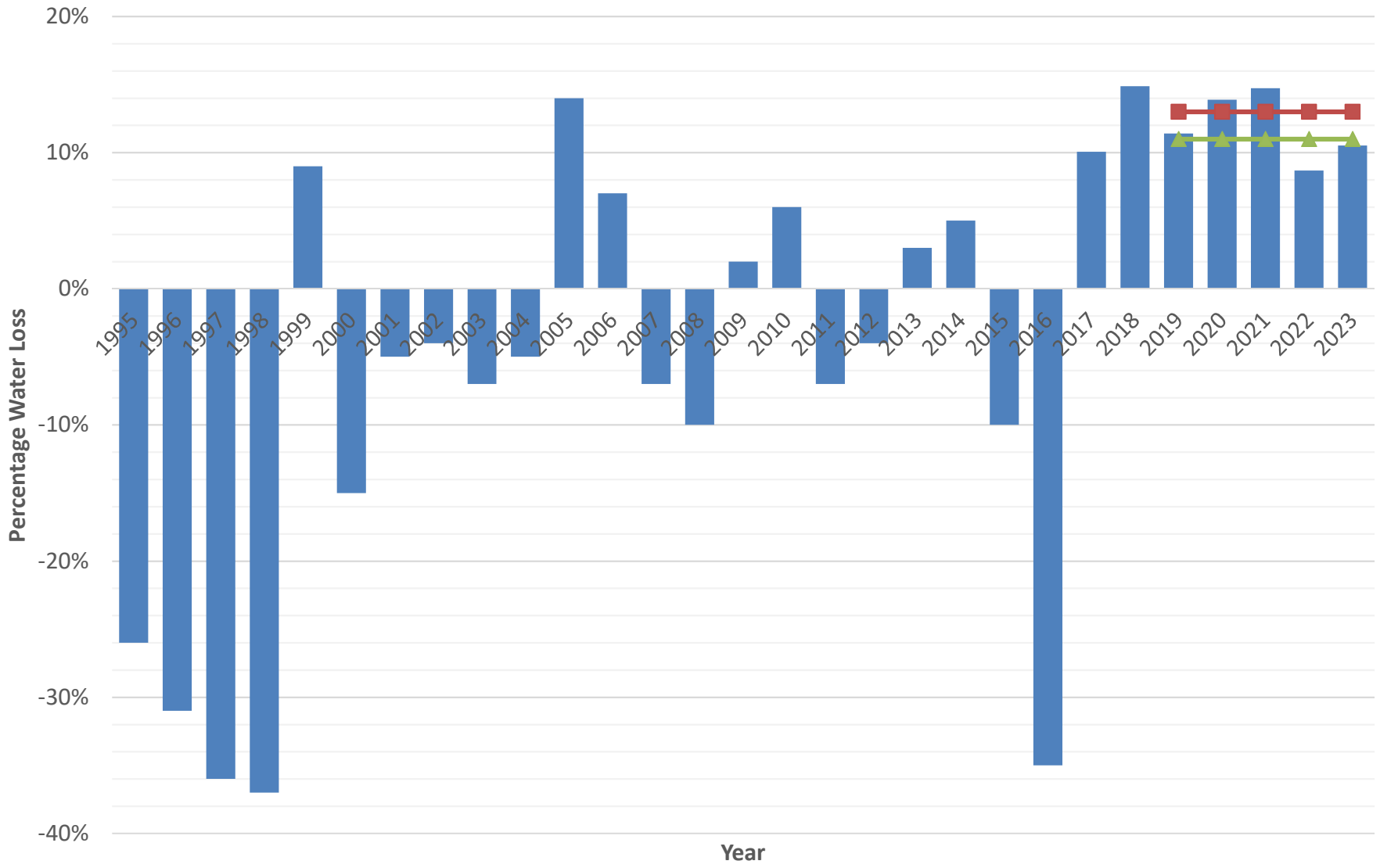
Historical Authorized Consumption and Water Loss



Historical ICIM Per Capita Use



Historical Water Loss (Percentage)



Water Loss (percentage)

Water Loss (percentage) 5-Year Goal

Water Loss (percentage) 10-Year Goal

Appendix E

TCEQ Water Conservation Implementation Report

Water Conservation Plan Annual Report

Retail Water Supplier

CONTACT INFORMATION

Name of Utility: CITY OF ROCKWALL

Public Water Supply Identification Number (PWS ID): TX1990001

Certification of Convenience and Necessity (CCN) Number: P1454

Surface Water Right ID Number:

Wastewater ID Number: P1455

Check all that apply:

- Retail Water Supplier
- Wholesale Water Supplier
- Wastewater Treatment Utility

Address: 1600 City: Rockwall Zip Code: 75087

Email: sdean@rockwall.com Telephone Number: 9727717730

Regional Water Planning Group: C

Groundwater Conservation District:

Contact: First Name: Stacy Last Name: Dean

Title: Conservation Coordinator

Is this person the designated Conservation Coordinator? Yes No

Regional Water Planning Group: C

Groundwater Conservation District:

Reporting Period (Calendar year):

Period Begin (mm/yyyy): 01/2023 Period End (mm/yyyy): 12/2023

Check all that apply:

- Received financial assistance of \$500,000 or more from TWDB
- Have 3,300 or more retail connections
- Have a surface water right with TCEQ

SYSTEM DATA

1. For this reporting period, select the category(s) used to classify customer water usage:

Retail Customer Water Usage Categories	
<input checked="" type="checkbox"/>	Residential - Single Family
<input checked="" type="checkbox"/>	Residential - Multi-family
<input checked="" type="checkbox"/>	Industrial
<input checked="" type="checkbox"/>	Commercial
<input checked="" type="checkbox"/>	Institutional
<input type="checkbox"/>	Agricultural

Retail Customers Categories*

- Residential Single Family
- Residential Multi-Family
- Industrial
- Commercial
- Institutional
- Agricultural

*Recommended Customer Categories for classifying customer water use. For definitions, refer to [Guidance and Methodology on Water Conservation and Water Use](#).

2. For this reporting period, enter the number of connections for and the gallons of metered retail water used by each category. If the Customer Category does not apply, enter zero or leave blank. These numbers should be the same as those reported on the Water Use Survey.

Retail Customer Category	Number of Connections	Gallons Metered
Residential - Single Family	16,052	1,870,396,500
Residential - Multi-family	151	102,802,300
Industrial	21	52,704,400
Commercial	1,618	654,897,458
Institutional	237	117,135,500
Agricultural	0	0
Total Retail Water Metered¹	18,079	2,797,936,158

¹Residential + Industrial + Commercial + Institutional + Agricultural = Total Retail Water Metered

Water Use Accounting

	Total Gallons During the Reporting Period
1. Corrected Input Volume: The volume of treated water input to the distribution system from own production facilities. Same as line 13b of the Water Loss Audit for reporting periods \geq 2015. Same as line 14 of the Water Loss Audit for reporting periods \leq 2014.	0
2. Corrected Treated Purchased Water Volume: The amount of treated purchased wholesale water transferred into the utility's distribution system from other water suppliers system. Same as line 14b of the Water Loss Audit for reporting periods \geq 2015. Same as line 15 of the Water Loss Audit for reporting periods \leq 2014.	5,077,345,361
3. Corrected Treated Wholesale Water Sales Volume: The amount of treated wholesale water transferred out of the utility's distribution system, although it may be in the system for a brief time for conveyance reasons. Same as line 15b of the Water Loss Audit for reporting periods \geq 2015. Same as line 16 of the Water Loss Audit for reporting periods \leq 2014.	1,669,319,010
4. Total System Input Volume: This is the sum of the corrected input volume plus corrected treated purchased water volume minus corrected treated wholesale water sales volume. Same as line 16 of the Water Loss Audit for reporting periods \geq 2015. Same as line 17 of the Water Loss Audit for reporting periods \leq 2014. Produced + Imported - Exported = Total System Input Volume	3,408,026,351
5. Billed Metered: All retail water sold and metered. Same as line 17 of the Water Loss Audit for reporting periods \geq 2015. Same as line 18 of the Water Loss Audit for reporting periods \leq 2014.	2,797,936,158
6. Other Authorized Consumption: Water that is authorized for other uses such as back flushing, line flushing, storage tank cleaning, fire department use, municipal government offices or municipal golf courses/parks. This water may be metered or unmetered. Same as lines 18, 19, and 20 of the Water Loss Audit for reporting periods \geq 2015. Same as lines 19, 20, and 21 of the Water Loss Audit for reporting periods \leq 2014.	6,994,840
7. Total Authorized Consumption: All water that has been authorized for use. Same as Line 21 of the Water Loss Audit for reporting periods \geq 2015. Same as line 22 of the Water Loss Audit for reporting periods \leq 2014. Total Billed and Metered Retail Water + Other Authorized Consumption = Total Authorized Consumption	2,804,930,998
8. Total Apparent Losses: Water that has been consumed but not properly measured or billed (losses due to customer meter inaccuracy, systematic data handling discrepancy and/or unauthorized consumption such as theft). Same as line 27 of the Water Loss Audit for reporting periods \geq 2015. Same as line 28 of the Water Loss Audit for reporting periods \leq 2014.	161,249,478

9. Total Real Loss: Physical losses from the distribution system prior to reaching the customer destination (losses due to reported breaks and leaks, physical losses from the system or mains and/or storage overflow). Same as line 30 of the Water Loss Audit for reporting periods >= 2015. Same as line 31 of the Water Loss Audit for reporting periods <= 2014.	441,845,875
10. Total Water Loss: Apparent + Real = Total Water Loss	603,095,353

Programs and Activities

1. What year did your entity adopt or revise their most recent Water Conservation Plan? 2019
2. Does The Plan incorporate [Best Management Practices](#)? Yes No
3. Using the table below select the types of Best Management Practices or water conservation and reuse strategies actively administered during this reporting period and estimate the savings incurred in implementing water conservation and reuse activities and programs. Leave fields blank if unknown. **Please separate reuse volumes from gallons saved.**

Methods and techniques for determining gallons saved are unique to each utility as they conduct internal cost analyses and long-term financial planning. Texas Best Management Practice can be found at TWDB's Water Conservation Best Management Practices [webpage](#). The [Alliance for Efficiency Water Conservation Tracking Tool](#) may offer guidance on determining and calculating savings for individual BMPs.

Best Management Practice	Check if Implemented	Estimated Gallons Saved	Estimated Gallons Reused
Conservation Analysis and Planning			
Conservation Coordinator	<input checked="" type="checkbox"/>	0	0
Cost Effective Analysis	<input type="checkbox"/>		
Water Survey for Single Family and Multi-family Customers	<input type="checkbox"/>		
Customer Characterization	<input type="checkbox"/>		
Financial			
Wholesale Agency Assistance Programs	<input type="checkbox"/>		
Water Conservation Pricing	<input checked="" type="checkbox"/>	0	0
System Operations			
Metering New Connections and Retrofitting Existing Connections	<input checked="" type="checkbox"/>	0	0
Utility Water Audit and Water Loss	<input checked="" type="checkbox"/>	0	0
Landscaping			
Landscape Irrigation Conservation and Incentives	<input type="checkbox"/>		
Athletic Fields Conservation	<input type="checkbox"/>		
Golf Course Conservation	<input checked="" type="checkbox"/>	72,000,000	72,000,000

Park Conservation	<input type="checkbox"/>		
Residential Landscape Irrigation Evaluation	<input type="checkbox"/>		
Outdoor Watering Schedule	<input checked="" type="checkbox"/>	0	0
Education and Public Awareness			
School Education	<input type="checkbox"/>		
Public Information	<input checked="" type="checkbox"/>	0	0
Public Outreach and Education	<input type="checkbox"/>		
Partnerships with Nonprofit Organizations	<input type="checkbox"/>		
Rebate, Retrofit, and Incentive Programs			
Conservation Programs for ICI Accounts	<input type="checkbox"/>		
Residential Clothes Washer Incentive Program	<input type="checkbox"/>		
Water Wise Landscape Design and Conversion Programs	<input type="checkbox"/>		
Showerhead, Aerator, and Toilet Flapper Retrofit	<input type="checkbox"/>		
Residential Toilet Replacement Programs	<input type="checkbox"/>		
Custom Conservation Rebates	<input type="checkbox"/>		
Plumbing Assistance for Economically Disadvantaged Customers	<input type="checkbox"/>		
Conservation Technology & Reuse			
New Construction Graywater	<input type="checkbox"/>		
Rainwater Harvesting and Condensate Reuse	<input type="checkbox"/>		
Water Reuse BMP Categories			
Reuse for On-site Irrigation	<input type="checkbox"/>		
Reuse for Plant Washdown	<input checked="" type="checkbox"/>	30,000,000	30,000,000
Reuse for Chlorination/Dechlorination	<input checked="" type="checkbox"/>	30,000,000	30,000,000
Reuse for Industry	<input type="checkbox"/>		
Reuse for Agriculture	<input type="checkbox"/>		
Regulatory and Enforcement			
Prohibition on Wasting Water	<input checked="" type="checkbox"/>	0	0
Conservation Ordinance Planning and Development	<input checked="" type="checkbox"/>	0	0
Enforcement of Irrigation Standards	<input checked="" type="checkbox"/>	0	0
Retail			
Other	<input type="checkbox"/>		
Totals		132,000,000	132,000,000

4. For this reporting period, estimate the savings from water conservation activities and programs.

Gallons Saved/Conserved	Gallons Recycled/Reused	Total Volume of Water Saved ¹	Dollar Value of Water Saved ²
132,000,000	132,000,000	264,000,000	542,520

¹Estimated Gallons Saved + Estimated Gallons Recycled/Reused = Total Volume Saved

²Estimated this value by taking into account water savings, the cost of treatment or purchase of water, and deferred capital cost due to conservation.

5. Comments or Explanations Regarding Data Entered in Sections Above.
 Files to support or explain this may be attached below.

The City of Rockwall owns the Buffalo and Squabble Creek Sewer Treatment Plants that are operated by North Texas Municipal Water District.

6 mg/month for golf course off-site irrigation.
 5 mg/month for wash-down and chlorination/dichlorination.

6. During this reporting period, did your rates or rate structure change? Yes No

Select the type of rate pricing structure used. Check all that apply.

<input type="checkbox"/>	Uniform Rates
<input type="checkbox"/>	Flat Rates
<input checked="" type="checkbox"/>	Inclining/Inverted Block Rates
<input type="checkbox"/>	Declining Block Rates
<input type="checkbox"/>	Seasonal Rates
<input type="checkbox"/>	Water Budget Based Rates
<input type="checkbox"/>	Excess Use Rates
<input type="checkbox"/>	Drought Demand Rates
<input type="checkbox"/>	Tailored Rates
<input type="checkbox"/>	Surcharge - usage demand
<input type="checkbox"/>	Surcharge - seasonal
<input type="checkbox"/>	Surcharge - drought
<input type="checkbox"/>	Other

7. For this reporting period, select the public awareness or educational activities used.

Name	Implemented This Year	Number Of Times This Year	Total Population Reached this Year
Brochures Distributed	<input type="checkbox"/>		
Messages Provided on Utility Bills	<input checked="" type="checkbox"/>	9	51,054
Press Releases	<input type="checkbox"/>		
TV Public Service Announcements	<input type="checkbox"/>		
Radio Public Service Announcements	<input type="checkbox"/>		
Educational School Programs	<input type="checkbox"/>		
Displays, Exhibits, and Presentations	<input type="checkbox"/>		
Community Events	<input checked="" type="checkbox"/>	2	0
Social Media campaign - Facebook	<input checked="" type="checkbox"/>	9	13,500
Social Media campaign - Twitter	<input type="checkbox"/>		
Social Media campaign - Instagram	<input checked="" type="checkbox"/>	9	150
Social Media campaign - YouTube	<input type="checkbox"/>		
Facility Tours	<input type="checkbox"/>		
Other	<input checked="" type="checkbox"/>	365	1,217
Total		394	65,921

Other is the City's conservation website.

Leak Detection and Water Loss

1. During this reporting period, how many leaks were repaired in the system or at service connections? 65

2. Select the main cause(s) of water loss in your system.

Water Loss Causes	
<input checked="" type="checkbox"/>	Distribution line leaks and breaks
<input checked="" type="checkbox"/>	Unauthorized use and theft

<input type="checkbox"/>	Master meter problems
<input checked="" type="checkbox"/>	Customer meter problems
<input type="checkbox"/>	Record and data problems
<input type="checkbox"/>	Other

3. For this reporting period, provide the following information on your distribution lines.

Total Length of Main Lines (miles)	Total Length Repaired (feet)	Total Length Replaced (feet)
368	107	169

4. For this reporting period, provide the following information regarding your meters:

Type of Meter	Total Number	Total Tested	Total Repaired	Total Replaced
Production Meters	4	4	1	0
Meters larger than 1 1/2 inches	1068	0	0	50
Meters 1 1/2 inches or smaller	17011	0	0	930

5. Does your system have automated meter reading? Yes No

Program Effectiveness

1. Program Effectiveness

In your opinion, how would you rank the overall effectiveness of your conservation programs and activities?

Customer Classification	Less Than Effective	Somewhat Effective	Highly Effective	Does Not Apply
Residential Customers	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>
Industrial Customers	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
Institutional Customers	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
Commercial Customers	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>
Agricultural Customers	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>

2. During the reporting period, did you implement your Drought Contingency Plan? Yes No

3. Select the areas for which you would like to receive more technical assistance:

Technical Assistance Areas	
<input type="checkbox"/>	Best Management Practices
<input type="checkbox"/>	Drought Contingency Plans
<input type="checkbox"/>	Landscape Irrigation
<input type="checkbox"/>	Leak Detection and Equipment
<input type="checkbox"/>	Rainwater Harvesting
<input type="checkbox"/>	Rate Structures
<input checked="" type="checkbox"/>	Educational Resources
<input type="checkbox"/>	Water Conservation Annual Reports
<input type="checkbox"/>	Water Conservation Plans
<input type="checkbox"/>	Water IQ: Know Your Water
<input checked="" type="checkbox"/>	Water Loss Audits
<input type="checkbox"/>	Recycling and Reuse

Water Loss, Target and Goals

Total, Residential and Water Loss Gallons Per Capita per Day (GPCD) and Water Loss Percentage

The tables below display your current GPCD totals and water loss percentage for your service area.

Total System Input in Gallons Water Produced + Wholesale Imported - Wholesale Exported	Retail Population ¹	Total GPCD (System Input / Retail Population) / 365
3,408,026,351	51,054	183

¹Retail Population is the total permanent population of the service area, including single family, multi-family, and group quarter populations

Residential Use in Gallons (Single Family + Multi-family)	Residential Population ²	Residential GPCD (Residential Use / Residential Population) / 365
1,973,198,800	51,054	106

²Residential Population is the total residential population of the service area, including only single family and multi-family populations

Total Water Loss in Gallons Apparent + Real = Total Water Loss	Retail Population	Water Loss GPCD ³	Water Loss Percent
603,095,353	51,054	32	17.70%

³(Total Water Loss / Residential Population) / 365 = Water Loss GPCD
 (Total Water Loss / Total System Input) * 100 = Water Loss Percentage

The table below displays the specific and quantified five-year and ten-year goals listed in your current Water Conservation Plan alongside the current GPCD and water loss totals.

Achieve Date	Target for Total GPCD	Current Total GPCD	Target for Residential GPCD	Current Residential GPCD	Target for Water Loss GPCD	Current Water Loss GPCD	Target for Water Loss Percentage	Current Water Loss Percentage
Five-year Target Date 2024	130	183	93	106	24	32	18.46 %	17.70 %
Ten-year Target Date 2029	127	183	92	106	22	32	17.32 %	17.70 %

Appendix F

Letter to Region C Water Planning Group and NTMWD

[Enter Date]

Region C Water Planning Group
c/o Trinity River Authority
P.O. Box 60
Arlington, TX 76004

Dear Chair:

Enclosed please find a copy of the Water Conservation, and the Water Resource and Emergency Management Plan for the City of Rockwall. I am submitting a copy of this plan to the Region C Water Planning Group in accordance with the Texas Water Development Board and Texas Commission on Environmental Quality rules. The plans were adopted on 4/15/2024.

Sincerely,

Rick Sherer
City of Rockwall

Appendix G

Adoption of Plans

Appendix H

Illegal Water Connections and Theft of Water

CITY OF ROCKWALL, TEXAS

ORDINANCE NO. 09-22

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES OF THE CITY OF ROCKWALL IN CHAPTER 26, ARTICLE V, DIVISION 2, SERVICE REGULATIONS; PROVIDING FOR A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2000.00) FOR EACH OFFENSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Rockwall recognizes that the amount of water available to its water customers is limited; and

WHEREAS, pursuant to Chapter 54 of the Local Government Code, the City is authorized to adopt such policies necessary to preserve and conserve available water supplies; and

WHEREAS, the City seeks to adopt an ordinance pertaining to illegal water connections and theft of water.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL:

SECTION 1. That the Code of Ordinances shall be amended in Chapter 26, Article V, Division 2, which shall hereinafter read in the entirety as set forth in Exhibit "A" attached hereto made a part hereof for all purposes.

SECTION 2. That if any provision or any section of this ordinance shall be held to be void or unconstitutional, such holding shall in no way affect the validity of the remaining provisions or sections of this ordinance, which shall remain in full force and effect.

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall, upon conviction, be subject to a fine in accordance with Section 1-7 of the General Provision of the Code of Ordinances.


SECTION 4. That this ordinance shall take effect immediately from and after its passage and approval, and it is so ordained.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS this 18th day of May, 2009.



William R. Cecil, Mayor

ATTEST:



Kristy Ashberry, City Secretary



APPROVED AS TO FORM:



Pete Eckert, City Attorney

1st reading: 05-04-09

2nd reading: 05-18-09

“EXHIBIT A”

CHAPTER 26

ARTICLE V. WATER

DIVISION 2

SERVICE REGULATIONS

Sec. 26-131. Application for service required; who may apply; responsibility for bill.

- (a) Each consumer desiring water from the City of Rockwall’s water supply system shall make application. The application shall contain the purpose for which the water is desired, and shall agree to the terms and conditions upon which water will be furnished and to the rules, regulations and ordinances of the City. Upon such application being filed with the City, the applicant is authorized the use of water from the City’s water system for specified purposes.

- (b) No application for the use of water shall be filed by any person other than the owner, renter or duly authorized agent, and such owner, renter or authorized agent when making application, shall be liable for the fees charged for the use of water.

Sec. 26-132. Permits to be approved by the City before water is turned on.

All applications for water from the City’s water system, when a new service has been installed, shall be approved by the City after inspection, before the water will be turned on.

Sec. 26-133. Permit required for taps, etc.

No new tap or new service or addition, extension or alteration of any tap or service, shall be made or caused to be made by any consumer, except through a licensed plumber or utility contractor and after obtaining a permit from the City.

Sec. 26-134. Connection permits.

Applications for permits to connect water service pipes or mains with the distribution mains shall be made to the City, together with a fee as specified in Article II of this chapter and Chapter 24, Subdivision Regulations, Article III, paid in advance to the City for inserting the service pipe or main and conveying it to the curb line. Such permit shall be the plumber or utility contractors authority for making the connection with the street service, laying pipes and doing all work necessary to make the service complete. Any application for a second permit to the same premises will be charged an equal fee for inserting the service pipe and conveying it to the curb line.

Sec. 26-135. Permit applications to be made by a licensed plumber or utility contractor.

All applications for permits required by this article shall be made only by a licensed plumber or utility contractor working for the property owner or his authorized agent.

Sec. 26-136. Turn-on of water restricted.

No person may knowingly cause, suffer or allow the initiation or restoration of water service to the property after termination of service(s) without the written consent of the City. For purposes of this section, it shall be assumed that the owner, occupant, or person in control of the property caused, suffered, or allowed the unlawful initiation or restoration of service(s).

Sec. 26-137. Maintenance and conservation requirements of consumer.

All consumers of water from the City's water system shall keep their service pipes and all fixtures connected in good condition and repair to prevent unnecessary waste of water.

Sec. 26-138. Shutoff of water for waste.

Where water is wasted by reason of the water fixtures and service pipe being out of order, through neglect of the consumer, agents or tenants, after notice thereof from the City, if the consumer refuses to repair such fixtures or pipe, the water shall be immediately turned off and withheld from such premises until repairs have been made.

Sec. 26-139. Consumers not to permit others to use water; penalty.

No consumer of City water shall permit any other person to use water from their tap, hydrant, faucet or other device to provide water to an additional property, except when authorized by the City. In the case of a violation of this section, the water shall be immediately turned off in addition to any other penalty otherwise provided.

Sec. 26-140. Use of water from public connections restricted.

No consumer or other person shall take water for private use from any public fire hydrant, hydrant, fountain or similar public water source without the consent of the City.

Sec. 26-141. Interference with system apparatus.

A person may not knowingly tamper, connect to, or alter any component of the City's water system including, but not limited to: valves, meters, meter boxes, lids, hydrants, lines, pump stations, ground storage tanks, and elevated tanks. This shall include direct or indirect efforts to initiate or restore water service without the approval of the City.

Appendix I

Landscape Ordinance

CITY OF ROCKWALL

ORDINANCE NO. 20-02

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY SUPERSEDING *ORDINANCE NO. 04-38* AND ALL SUBSEQUENT AMENDMENTS AND ADOPTING THE REVISED UNIFIED DEVELOPMENT CODE (UDC) DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has initiated a comprehensive review of the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] which now requires an amendment; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 04-38* and all of its subsequent amendments;

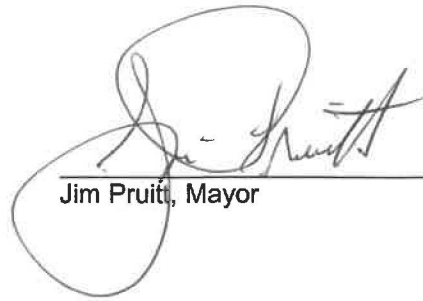
SECTION 2. That the Unified Development Code (UDC) has been established to ensure that development in the City of Rockwall be held to the minimum requirements contained within the document to ensure promotion of the public's health, safety, morals, and general welfare. The Unified Development Code (UDC) is not intended by this ordinance to interfere with or abrogate or annul any easements, covenants or any other agreements between parties, or any other statute, local ordinance or regulations, except that if the is ordinance imposes the most restrictive requirement or a higher standard in which case this ordinance will be the controlling ordinance.

SECTION 3. That all rights or remedies of the City are expressly saved as to any and all violations of previous zoning regulations or amendments thereto, of said City that have accrued at the time of the effective date of this ordinance; and to such accrued violations, the City and the courts shall have all the powers that existed prior to the effective date of this ordinance; and that all existing violations of previous zoning regulations which would otherwise become non-conforming uses under this ordinance, but shall be violations of this ordinance in the same manner that they were violations of prior zoning regulations.

SECTION 4. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE
3RD DAY OF FEBRUARY, 2020.**



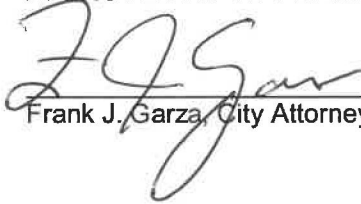
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: January 21, 2020

2nd Reading: February 3, 2020



[Rockwall Code of Ordinances](#), and all applicable state laws, as may be amended.

SUBSECTION 05.05: XERISCAPING/SMARTSCAPING STANDARDS

- (A) *Purpose*. The purpose of this section is to promote the establishment of water conscious landscaping through the implementation of xeriscaping/smartscape principles. Additionally, this section is intended to provide an alternative to the typical landscape requirements for commercial properties.
- (B) *Principles*. All xeriscaping/smartscape plans submitted to the city should demonstrate conformance with the following principles:
- (1) *Planning and Design*. Landscape designs and plans should take into account the regional and microclimatic conditions of the site, its existing vegetation and topographical conditions, the intended use, and the zoning (*i.e. vegetation zone*) of plant materials according to their unique water needs. Plans should take into account the various heights of landscaping materials. If the landscape plan is proposed in phases, to account for optimum planting times, all future phases should be included on the submitted landscape plan. In reviewing plans to ensure proper site planning and design, staff shall ensure that the plan: [1] preserves and protects existing vegetation, [2] preserves and protects topsoil, [3] stabilizes and covers all bare soil areas, and [4] incorporates energy/water conservation.
 - (2) *Soil Improvement*. Since soil tends to vary from site to site all soil should be analyzed to determine what plants are suitable to include on the landscape plan and if any soil amendments are required. Soil may require additional organic material be added to ensure the continued health of plants.
 - (3) *Appropriate Plant Selection*. Plant selection should be based on the plant's adaptability to the existing site conditions and need for supplemental watering. Most xeriscape/smartscape plants will not require supplemental watering. In selecting plant materials, mature plants and shrubs should be used to ensure establishment after installation. A list of plants that are native and acceptable within the city has been provided in [Appendix C, Recommended Plantings](#); however, staff may approve alternate plantings if they are deemed appropriate for the site. In reviewing plans for conformance to this principle staff will consider the: [1] diversity of the plant species being proposed, [2] size, maturity and water requirements of the selected plantings, and [3] variation of height, spread and color.
 - (4) *Practical Turf Areas*. The type and location of turf areas are considered to be a major design element in xeriscape/smartscape plans. Turf in this case involves typical varieties of Bermuda, St. Augustine, Ryegrass blends, etc. The maintenance needs of turf can be minimized by the shape, area, irrigation equipment, and turf type selected. Drainage areas and sloped areas are especially suited to the use of native grasses as opposed to turf. In reviewing plans to ensure that the turf areas being proposed are practical staff will review: [1] the design of the turf areas (with rounded, compact turf areas being more efficient), [2] turf areas should be designed to be on a separate zone from other landscaping, [3] turf should be appropriate for the selected location, [4] turf should be

avoided on slopes and drainage areas in favor of native grasses, and [5] minimize turf areas by using native grasses, hardscape elements and alternatives.

- (5) *Efficient Irrigation*. All landscaping is required to have an irrigation system that is designed by a licensed irrigator. Additionally, all irrigation systems should be designed to be water efficient utilizing low-flow irrigation equipment. The plan should show that turf areas should be watered separately, and plants should be grouped in separate zones based on water need. Finally, all irrigation systems are required to be maintained in proper working order.
 - (6) *Use of Mulches*. Mulches minimize evaporation, reduce weed growth, slow erosion and help maintain soil temperature. In reviewing the use of mulches in xeriscape/smartscape plans staff shall ensure: [1] the use of a deep layer of mulch in planting beds (*typically three to four inches*) is utilized, and [2] mulches should be locally or regionally derived materials. Additionally, mulches may include the use of pea gravel, crushed granite, rock or pebbles in unplanted areas.
 - (7) *Appropriate Maintenance*. Proper pruning, weeding and fertilization as required with all landscape plans shall be required. Typically, xeriscape/smartscape plans require less maintenance, fertilizer and other chemicals and pesticides.
- (C) *Standards*.
- (1) If approved with a *Landscape Plan* native grasses shall be exempt from the rules and requirements of [Section 16-43, Weeds, Brush and Grass, of Chapter 16, Environment, of the Municipal Code of Ordinances](#); however, the grass should be maintained to a height typical for the particular native grass.
 - (2) Drainage or detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by [Subsection 05.03\(D\)](#) (*i.e. one [1] tree per every 750 SF and one [1] accent tree per 1,500 SF of detention area*). Instead, a shrub or ornamental grass per every 750 SF of dry land area shall be required to be planted on the site or around the detention area.
 - (3) A maximum of 30% mulches or hardscape is permitted to be incorporated into all xeriscape plans. This may be increased by the Planning and Zoning Commission if deemed appropriate and necessary for the proposed plan.
- (D) *Approval of Xeriscape/Smartscape Plans*. All xeriscape/smartscape plans shall require approval by the Planning and Zoning Commission, upon a recommendation by staff concerning conformance to the requirements of this section, at the time of site plan approval.



SECTION 01 | INTRODUCTION

These guidelines were drafted by the citizens and local experts for the purpose of outlining the requirements of [Article 08, Landscape and Fence Standards, of the Unified Development Code \(UDC\)](#), and to provide guidelines for plantings that are appropriate within the City of Rockwall.

SECTION 02 | PURPOSE

The purpose of the following appendix is to provide a general reference guide for meeting the requirements of [Article 08, Landscape and Fence Standards, of the Unified Development Code \(UDC\)](#). This appendix is not intended to be a comprehensive list of all plant materials that can be utilized for development within the City of Rockwall. The Director of Planning and Zoning or his/her designee can approve a landscape plan that includes tree, shrub, and grass varieties not indicated in this appendix upon a finding that the proposed planting is appropriate for the development.

SECTION 03 | TREE PLANTING GUIDELINES AND REQUIREMENTS

The following table and guidelines are a summary of the required tree planting requirements stipulated by [Article 08, Landscape and Fence Standards, of the Unified Development Code \(UDC\)](#).

TABLE 1: REQUIRED TREES BY DISTRICT

		OVERLAY DISTRICTS													
		IH-30	SH-205	SOV	SH-66	205-BY	N-205	E-66	FM-549	SH-276	DT	NON	XERI	REC	
CANOPY TREES	AFGHAN PINE	X	X	X	X	X	X	X	X	X		X	X	X	
	BALD CYPRESS	X				X			X	X	X	X		X	
	BURR OAK	X	X	X	X	X	X	X	X	X	X	X	X	X	
	CADDO MAPLE		X	X			X	X	X			X		X	
	CEDAR ELM	X	X	X	X	X	X	X	X	X	X	X		X	
	CHINQUAPIN OAK										X	X	X	X	
	EASTERN RED CEDAR	X				X				X	X	X		X	
	HOMESTEAD ELM	X				X				X	X	X		X	
	LACEBARK ELM	X	X	X	X	X	X	X	X	X	X	X		X	
	LEYLAND CYPRESS		X	X			X	X	X			X		X	
	LITTLE GEM MAGNOLIA	X	X	X	X	X	X	X	X	X	X	X		X	
	LIVE OAK	X	X	X	X	X	X	X	X	X	X	X		X	
	OCTOBER GLORY MAPLE	X	X	X	X	X	X	X	X	X	X	X		X	
	PECAN										X	X		X	
	TEXAS ASH	X			X	X			X	X		X		X	
TEXAS RED OAK	X			X	X			X	X	X	X		X		
ACCENT TREES	DESERT WILLOW	X	X	X	X	X	X	X	X	X	X	X	X	X	
	DOWNY HAWTHORN										X	X		X	
	EASTERN REDBUD	X	X	X	X	X	X	X	X	X	X	X		X	
	EVES NECKLACE	X	X	X	X	X	X	X	X	X	X	X	X	X	
	MEXICAN BUCKEYE	X	X	X	X	X	X	X	X	X	X	X		X	
	POSSUMHAW HOLLY	X	X	X	X	X	X	X	X	X	X	X	X	X	
	SHANTUNG MAPLE	X	X	X	X	X	X	X	X	X	X	X		X	
	FLAME LEAF SUMAC	X	X	X	X	X	X	X	X	X	X	X		X	
YAUPON HOLLY	X	X	X	X	X	X	X	X	X	X	X		X		

NOTES: NON: NON-OVERLAY DISTRICTS; XERI: XERISCAPE; REC: RECLAMATION/TREE PRESERVATION

PROHIBITED TREE LIST:

- [1] CATALPA (CATALPA SP.); [2] HACKBERRY; [3] SUGARBERRY (CELTIS SP.); [4] HONEYLOCUST (GLEDITSIA TRIACANTHOS) ; [5] TULIP TREE (LIRIODENDRON TULIPIFERA); [6] CHINABERRY (MELIA AZEDARACH); [7] SYCAMORE (PLATANUS OCCIDENTALIS); [8] COTTONWOOD, POPLAR (POPULUS SP.); [9] WILLOWS (SALIX SP.); [10] AMERICAN ELM (ULMUS AMERICANA); [11] SIBERIAN ELM (ULMUS PUMILIA); [12] JERUSALEM THORN/PETUMA (PARKINSONIA ACULEATA); [13] BOIS D'ARC (MACLURA POMIFERA); [14] FLOWERING CRABAPPLE VARIETIES (MALUS SP.); [15] GINKO TREE (GINKO BILOBA); [16] PEACH/PLUM VARIETIES; [17] MULBERRY VARIETIES (MORUS SP.); [18] TEXAS MOUNTAIN LAUREL (SOPHORA SECUNDFLORA) ; [19] LILAC CHASTE TREE (VITEX AGNUSCASTUS) ; [20] PINE TREE VARIETIES (PINUS SO.) ; [21] SILVER MAPLE (ACER SACCHARINUM) ; [22] BOX ELDER (ACER NEGUNDO) ; [23] MIMOSA (ALBIZIA JULIBRISSIN) ; [24] CATALPA (CATALPA SP.).



SECTION 04 | RECOMMENDED TREE VARIETIES (CANOPY AND ACCENT TREES)

The following information concerning the City's recommended trees was obtained from the Texas A&M Forest Service, Texas *Tree Planting Guide* and all illustrations were provided courtesy of Texas A&M Forest Service *Copyright by Robert O'Brien*.



Afghanistan Pine
Pinus eldarica

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AFGHAN PINE

LATIN NAME: PINUS ELДАРICA

SECONDARY NAMES: ELДАРICA PINE, MONDEL PINE

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 35' TO 50'
- LEAF TYPE: EVERGREEN
- GROWTH RATE: RAPID
- NATIVE: AFGHANISTAN AND CENTRAL ASIA
- SOIL NEEDS: REQUIRES WELL DRAINED, DRY SOILS
- TOLERANCES: SALTY SOIL, DROUGHT, ALKALINE SOILS [PH > 7.5]
- FEATURES: SOFT, GREEN NEEDLES FORM A DENSE CANOPY
- USES: SCREENING AND WINDBREAKS
- FIREWISE: NO
- ISSUES: THE PINE TIP MOTH CAN KILL NEW SHOOTS AND RUIN THE SHAPE OF THE TREE. THE TREE IS NOT TOLERANT OF WET SITES.
- SIMILAR SPECIES: ALEPPO PINE (*PINUS HALAPENSIS*)



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BALD CYPRESS

LATIN NAME: TAXODIUM DISTICHUM

SECONDARY NAMES: BALDCYPRESS

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 50' TO 70'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: WILL GROW IN A VARIETY OF SOILS
- TOLERANCES: DROUGHT AND POORLY DRAINED SITES
- FEATURES: DECIDUOUS CONIFER WITH FEATHER-LIKE LEAVES, ROUND SEED BALLS, AND FIBROUS BARK
- USES: DETENTION AREAS AND POORLY DRAINED AREAS
- FIREWISE: YES
- ISSUES: WOODY 'KNEES' AND BAGWORMS
- SIMILAR SPECIES: MONTEZUMA BALDCYPRESS (*TAXODIUM MUCRONATUM*)



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BUR OAK

LATIN NAME: QUERCUS MACROCARPA

SECONDARY NAMES: MOSSY CUP OAK

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 40' TO 60'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE TO RAPID
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE, PREFERS DEEPER SOIL
- TOLERANCES: SALTY SOIL, DROUGHT, ALKALINE SOILS [PH > 7.5]
- FEATURES: UNIQUE LEAF SHAPE, LARGEST ACORN OF ANY OAK
- USES: DROUGHT TOLERANT TREE
- FIREWISE: YES
- ISSUES: ACORNS AND LEAVES CAN CREATE SIGNIFICANT CLEAN-UP.
- SIMILAR SPECIES: WHITE OAK (*QUERCUS ALBA*)



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CADDO MAPLE

LATIN NAME: ACER SACCHARUM 'CADDO'

SECONDARY NAMES: ELДАРICA PINE, MONDEL PINE

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 50' TO 60'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: SLOW TO MEDIUM
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE
- TOLERANCES: ROCKY & ALKALINE SOILS AND DROUGHT TOLERANT
- FEATURES: MEDIUM TREE WITH A ROUNDED APPEARANCE, DARK GREEN FOLIAGE THAT CHANGES TO A GOLDEN COLOR IN THE FALL.
- FIREWISE: YES
- ISSUES: AVAILABILITY
- SIMILAR SPECIES: SUGAR MAPLE (A. SACCHARUM)



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CEDAR ELM

LATIN NAME: ULMUS CRASSIFOLIA

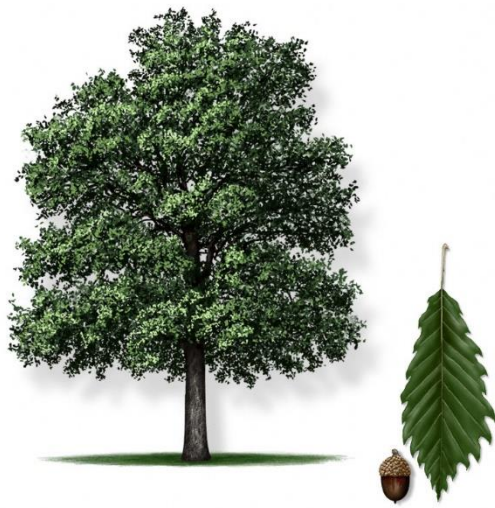
SECONDARY NAMES: TEXAS ELM

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 70' TO 90'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: ALKALINE ADAPTABLE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: LUSTROUS DARK GREEN LEAVES THAT ARE STIFF AND ROUGH TO THE TOUCH
- USES: LANDSCAPE TREE, PARKING LOT/STREET TREE
- FIREWISE: YES
- ISSUES: APHIDS, MINOR LEAF BEETLE & DUTCH ELM DISEASE
- SIMILAR SPECIES: WINGED ELM (ULMUS ALATA)

CHINQUAPIN OAK

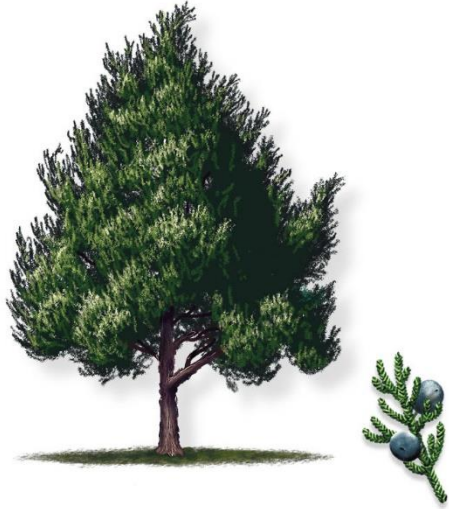
LATIN NAME: QUERCUS MUEHLENBERGII

SECONDARY NAMES: CHINKAPIN OAK



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- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 40' TO 50'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: SLOW TO MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE, ALKALINE SOILS
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: YELLOW-GREEN LEAVES W/ SMALL ACORNS (~3/4" LONG)
- USES: SHADE TREE
- FIREWISE: YES
- ISSUES: SENSITIVE ROOT SYSTEM; AS LITTLE AS ONE (1) INCH OF FILL DIRT CAN HURT THE TREE.
- SIMILAR SPECIES: SWAMP CHESTNUT OAK (QUERCUS MICHAUXII)



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EASTERN RED CEDAR

LATIN NAME: JUNIPERUS VIRGINIANA VAR. VIRGINIANA
SECONDARY NAMES: PENCIL CEDAR

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 30' TO 50'
- LEAF TYPE: EVERGREEN
- GROWTH RATE: MEDIUM
- NATIVE: EASTERN NORTH AMERICA
- SOIL NEEDS: ACIDIC, ALKALINE, LOAMY, WELL-DRAINED AND CLAY
- TOLERANCES: DROUGHT, EROSION, DRY SOIL, SHALLOW ROCKY AREAS
- FEATURES: SCALE-LIKE EVERGREEN LEAVES COMPACTED TO FORM ROUNDED FOUR (4) SIDED BRANCLETS.
- USES: WINDBREAKS AND FENCE ROWS, SCREENING TREE
- FIREWISE: NO
- ISSUES: CEDAR APPLE RUST AND BAGWORMS.
- SIMILAR SPECIES: SOUTHERN REDCEDAR (JUNIPERUS VIRGINIANA VAR. SILICICOLA) AND ROCKY MOUNTAIN JUNIPER (J. SCOPULORUM)



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HOMESTEAD ELM

LATIN NAME: ULMUS 'HOMESTEAD'

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 50' TO 60'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: DARK GREEN LEAVES THAT TURN BLEACH YELLOW IN THE FALL AND GREENISH TINY MULTI FLOWERED PENDULOUS RACEMES IN SPRING.
- USES: SHADE TREE
- FIREWISE: YES
- ISSUES: RESISTANT TO DUTCH ELM DISEASE BUT SUSCEPTIBLE TO ELM LEAF BEATLE.
- SIMILAR SPECIES: N/A. THE HOMESTEAD ELM IS A HYBRID.



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LACEBARK ELM

LATIN NAME: ULMUS PARVIFOLIA

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 35' TO 50'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID
- NATIVE: CHINA, JAPAN AND KOREA
- SOIL NEEDS: ADAPTABLE, PREFERS WELL DRAINED SOILS
- TOLERANCES: DROUGHT, ALKALINE SOILS [PH > 7.5]
- FEATURES: VARIABLE FALL COLOR; INTERESTING BARK TEXTURE.
- FIREWISE: YES
- ISSUES: REQUIRES PRUNING TO DEVELOP A STRONG BRANCH STRUCTURE.
- SIMILAR SPECIES: SIBERIAN ELM (ULMUS PUMILA) AND JAPANESE ZELKOVA (ZELKOVA SERRATA)



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LEYLAND CYPRESS

LATIN NAME: X CUPRESSOCYPARIS LEYLANDII

SECONDARY NAMES: CYPRESS

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 60' TO 70'
- LEAF TYPE: EVERGREEN
- GROWTH RATE: RAPID
- NATIVE: ENGLAND AND EUROPE
- SOIL NEEDS: ADAPTABLE
- TOLERANCES: DROUGHT AND POOR SOIL
- FEATURES: DECIDUOUS CONIFER WITH FEATHER-LIKE LEAVES, ROUND SEED BALLS, AND FIBROUS BARK
- USES: SCREENING, WINDBREAKS, AND NON-RESIDENTIAL LANDSCAPING
- FIREWISE: NO
- ISSUES: BAGWORMS AND SPIDER MITES
- SIMILAR SPECIES: MONTEZUMA BALDCYPRESS (TAXODIUM MUCRONATUM)



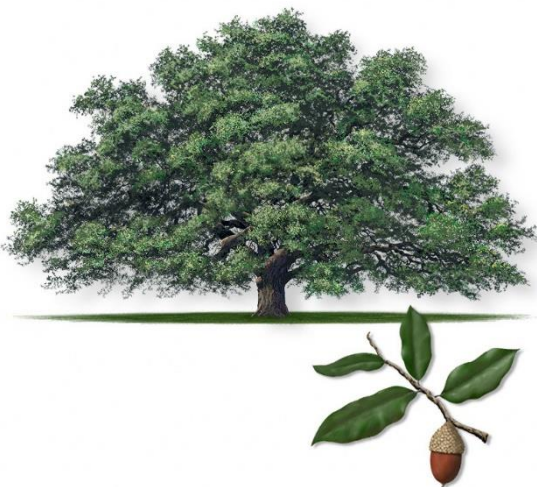
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LITTLE GEM MAGNOLIA

LATIN NAME: MAGNOLIA GRANDIFLORA 'LITTLE GEM'

SECONDARY NAMES: LARGE-FLOWERED MAGNOLIA

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 15' TO 20'
- LEAF TYPE: EVERGREEN
- GROWTH RATE: MODERATE
- NATIVE: SOUTHEAST UNITED STATES
- SOIL NEEDS: WELL DRAINED SOIL
- TOLERANCES: MODERATE DROUGHT, SALT AND SOIL VARIATION
- FEATURES: LARGE LEATHERY, DARK GREEN AND GLOSSY LEAVES WITH CUP SHAPED, WHITE FLOWERS AND OVAL AGGREGATION OF SEED PODS 3"-4" LONG.
- USES: SHADE AND LANDSCAPE TREE
- FIREWISE: YES
- ISSUES: NO MAJOR PROBLEMS
- SIMILAR SPECIES: SWEETBAY MAGNOLIA (MAGNOLIA VIRGINIANA)



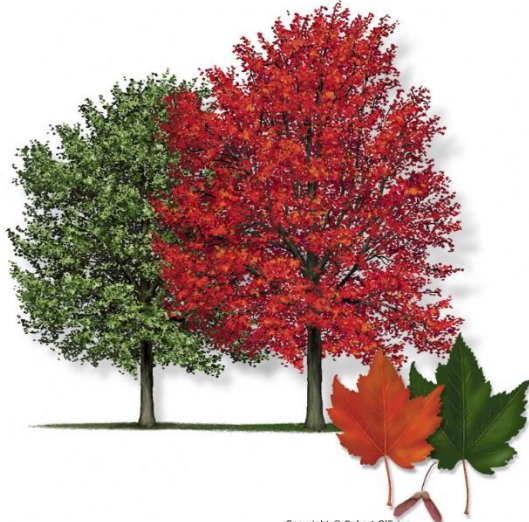
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LIVE OAK

LATIN NAME: QUERCUS VIRGINIANA

SECONDARY NAMES: COAST LIVE OAK, SOUTHERN LIVE OAK

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 40' TO 50'
- LEAF TYPE: EVERGREEN/SEMI EVERGREEN
- GROWTH RATE: MODERATELY FAST
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE, ACIDIC, ALKALINE, CLAY, LOAMY AND WELL DRAINED
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: GREEN TO DARK GREEN LEAVES WITH SMALL ACORNS ABOUT 3/4-INCH LONG AND BORNE SINGLY OR IN CLUSTERS UP TO FIVE.
- FIREWISE: YES
- ISSUES: LEAF BLISTER AND FUNGAL GALL
- SIMILAR SPECIES: TEXAS LIVE OAK (QUERCUS FUSIFORMIS)



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OCTOBER GLORY MAPLE

LATIN NAME: ACER RUBRUM 'OCTOBER GLORY'

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 40' TO 50'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE TO RAPID
- NATIVE: NORTH AMERICA
- SOIL NEEDS: ADAPTABLE; PREFERS SLIGHTLY ACIDIC SOIL
- TOLERANCES: MODERATE DROUGHT TOLERANCE
- FEATURES: SOFT, GREEN NEEDLES FORM A DENSE CANOPY
- USES: SHADE TREE
- FIREWISE: YES
- ISSUES: APHIDS AND LEAF SCORCH
- SIMILAR SPECIES: CHALK MAPLE (ACER LEUCODERME)



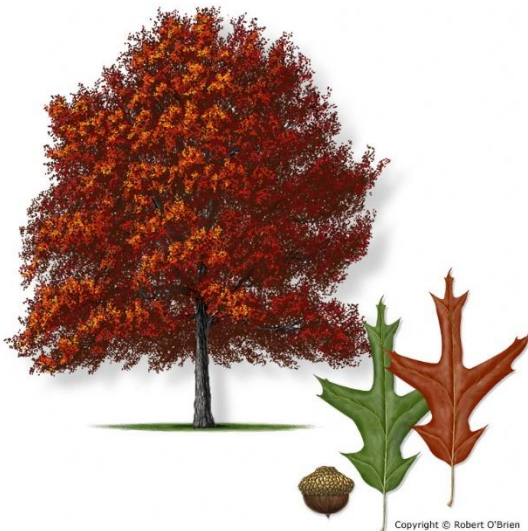
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PECAN

LATIN NAME: CARYA ILLINOINENSIS

SECONDARY NAMES: PECAN HICKORY

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 50' TO 70'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE, PREFERS DEEP MOIST SOIL
- TOLERANCES: DROUGHT, SALTY SOIL, POORLY DRAINED SOIL, ALKALINE SOILS [PH>7.5]
- FEATURES: NUTS ARE IN IMPORTANT WILDLIFE FOOD; MATURE CROWN IS OPEN AND AIRY.
- USES: LANDSCAPE TREE
- FIREWISE: YES
- ISSUES: APHIDS, BRITTLE WOOD; SUSCEPTIBLE TO INSECTS
- SIMILAR SPECIES: WATER HICKORY (CARYA AQUATICA) & BLACK WALNUT (JUGLANS NIGRA)



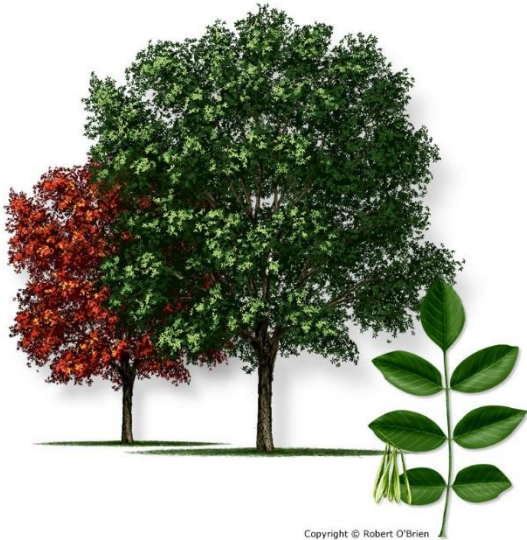
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RED OAK

LATIN NAME: QUERCUS FALCATA

SECONDARY NAMES: SOUTHERN RED OAK

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 30' TO 55'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID
- NATIVE: TEXAS
- SOIL NEEDS: AVOID PH>7.5; ANY TEXTURE; PREFERS GOOD DRAINAGE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: YOUNG TREES HAVE 'CANDLEABRA' SHAPE; FALL COLOR IS ORGANGE TO DEEP RED
- FIREWISE: YES
- ISSUES: OAK WILT
- SIMILAR SPECIES: BLACK OAK (QUERCUS VELUTINA)

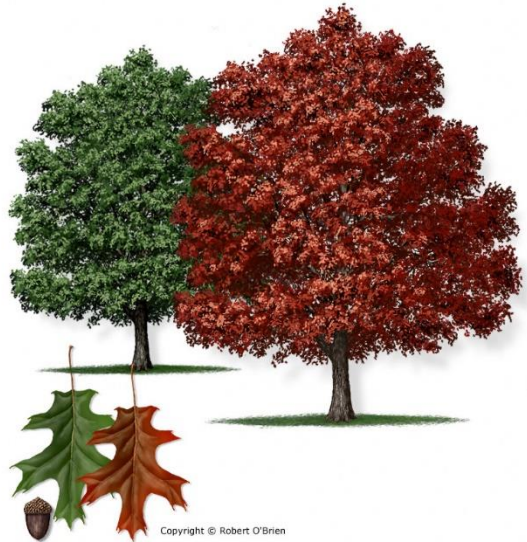


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TEXAS ASH

LATIN NAME: FRAXINUS TEXENSIS
SECONDARY NAMES: MOUNTAIN ASH

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 35' TO 50'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID (BUT VARIABLE)
- NATIVE: EAST AND CENTRAL TEXAS
- SOIL NEEDS: ADAPTABLE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: MEDIUM SIZED TREE WITH GREEN OR PURPLE FLOWERS AND SMALL WOODY WINGED SAMARA IN LONG PANICLES.
- FIREWISE: YES
- ISSUES: POOR DRAINAGE LEADS TO ROOT DISEASES
- SIMILAR SPECIES: CAROLINA ASH (FRAXINUS CAROLINIANA) AND GREGG ASH (F. GREGGII)



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TEXAS RED OAK

LATIN NAME: QUERCUS BUCKLEYI
SECONDARY NAMES: BUCKLEY OAK, TEXAS RED OAK, SPANISH OAK

- CITY TREE CLASSIFICATION: CANOPY TREE
- MATURE HEIGHT: 30' TO 55'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID
- NATIVE: CENTRAL TEXAS
- SOIL NEEDS: ALKALINE ADAPTABLE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: MEDIUM TREE WITH REDDISH-BROWN CATKINS/ACORNS AND SLENDER, DARK GREEN LEAVES THAT TURN RED IN THE FALL.
- FIREWISE: YES
- ISSUES: OAK WILT
- SIMILAR SPECIES: SHUMARD OAK (QUERCUS SHUMARDII)



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DESERT WILLIOW

LATIN NAME: CHILOPSIS LINEARIS
SECONDARY NAMES: DESERT-WILLOW

- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 15' TO 20'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MEDIUM
- NATIVE: WEST TEXAS
- SOIL NEEDS: ADAPTABLE, ACIDIC, LOAMY AND WELL DRAINED SOIL
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: MULTI-TRUNKED, WELL BRANCHED AND THICK GROWTH
- USES: PRIMARILY A LANDSCAPE TREE; XERISCAPING
- FIREWISE: YES
- ISSUES: SUSCEPTIBLE TO ALTERNERIA LEAF SPOT
- SIMILAR SPECIES: FLOWERING WILLOW, WILLOWLEAF CATALPA, DESERT CATALPA, FLOR DE MIMBRE, MIMBRE, BOW WILLOW



DOWNY HAWTHORN

LATIN NAME: CRATAEGUS MOLLIS

SECONDARY NAMES: A VARIETY OF COMMON NAMES OFTEN ENDING IN "HAW" – ARE USED FOR THE INDIVIDUAL HAWTHORN SPECIES



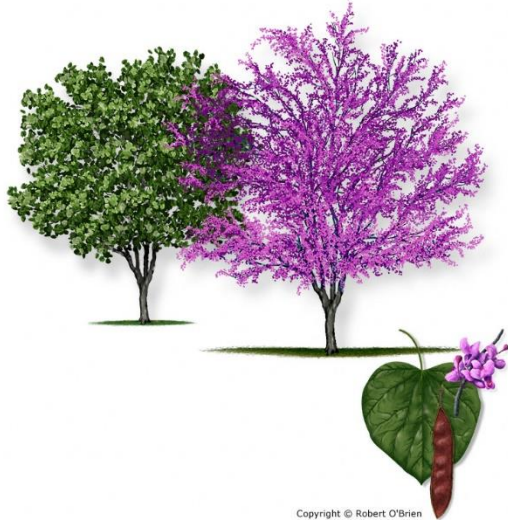
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- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 20' TO 30'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: SLOW
- NATIVE: EASTERN AND CENTRAL UNITED STATES AND CANADA
- SOIL NEEDS: REQUIRES WELL DRAINED, DRY SOILS
- TOLERANCES: DRY SOIL AND DROUGHT
- FEATURES: SMALL TREE WITH CLUSTERS OF WHITE FLOWERS AND BRIGHT RED BERRY FRUIT.
- USES: LANDSCAPING
- FIREWISE: YES
- ISSUES: SUSCEPTIBLE TO SEVERAL LEAF DISEASES
- SIMILAR SPECIES: RIVER BIRCH (BETULA NIGRA) & GUM BULLY (SIDEROXYLON LANUGINOSUM)

EASTERN REDBUD

LATIN NAME: CERCIS CANADENSIS VAR. CANADENSIS

SECONDARY NAMES: JUDAS-TREE



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- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 20' TO 30'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MEDIUM
- NATIVE: EAST TEXAS
- SOIL NEEDS: ALKALINE, ACIDIC, LOAMY, SANDY AND WELL DRAINED
- TOLERANCES: CLAY SOILS AND VERY HIGH HEAT
- FEATURES: SMALL TREE WITH PINK AND PURPLE, ROSE-PURPLE OR WHITE BLOOMS AND SMALL FLATTENED PODS WITH BROWN SEEDS.
- USES: WILDLIFE AND LANDSCAPING
- FIREWISE: YES
- ISSUES: LEAF SPOTS, DIEBACK/CANKER, AND VERTICILLIUM WILT
- SIMILAR SPECIES: REDBUD

EVE'S NECKLACE

LATIN NAME: SOPHORA AFFINIS

SECONDARY NAMES: TEXAS SOPHORA, EVE'S-NECKLACEPOD



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- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 15' TO 35'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: FAST (GENERALLY SLOWS AT 15')
- NATIVE: CENTRAL TEXAS
- SOIL NEEDS: ALKALINE ADAPTABLE
- TOLERANCES: VERY HIGH HEAT
- FEATURES: SMALL TREE WITH PALE TO ROSY PINK FLOWERS THAT BLOOM IN THE SPRING AND LONG BLACK SEGMENTED SEEDPODS.
- USES: LANDSCAPE TREE
- FIREWISE: YES
- ISSUES: NO PROBLEMS REPORTED
- SIMILAR SPECIES: BLACK LOCUST (ROBINIA PSEUDOACACIA)



MEXICAN BUCKEYE

LATIN NAME: UNGNADIA SPECIOSA

- CITY TREE CLASSIFICATION: ACCENTTREE
- MATURE HEIGHT: 15' TO 30'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: NEUTRAL ALKALINE
- TOLERANCES: DROUGHT, ALKALINE SOILS [PH > 7.5]
- FEATURES: PINK FLOWERS APPEAR WITH NEW LEAVES; BROWN FRUIT HUSKS REMAIN THROUGH WINTER.
- USES: LANDSCAPE OR SPECIMEN TREE
- FIREWISE: YES
- ISSUES: REQUIRES PRUNING TO DEVELOP ONE OR MORE TRUNKS.
- SIMILAR SPECIES: MONILLO, MONA, TEXAS BUCKEYE, SPANISH BUCKEYE, FALSE BUCKEYE, CANYON BUCKEYE



POSSUMHAW HOLLY

LATIN NAME: ILEX DECIDUA

SECONDARY NAMES: POSSUMHAW (DECIDUOUS HOLLY)

- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 8' TO 10' (OCCASIONALLY 20')
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: SLOW
- NATIVE: TEXAS
- SOIL NEEDS: ADAPTABLE
- TOLERANCES: DROUGHT, POORLY DRAINED SITES, ALKALINE SOILS [PH>7.5]
- FEATURES: ORANGE OR RED BERRIES ON GRAY BRANCHES.
- USES: LANDSCAPE TREE AND DETENTION TREE
- FIREWISE: YES
- ISSUES: THIN BARK SUSCEPTIBLE TO INJURY
- SIMILAR SPECIES: BEARBERRY, MEADOW HOLLY, PRAIRIE HOLLY, SWAMP HOLLY, WELK HOLLY, WINTERBERRY

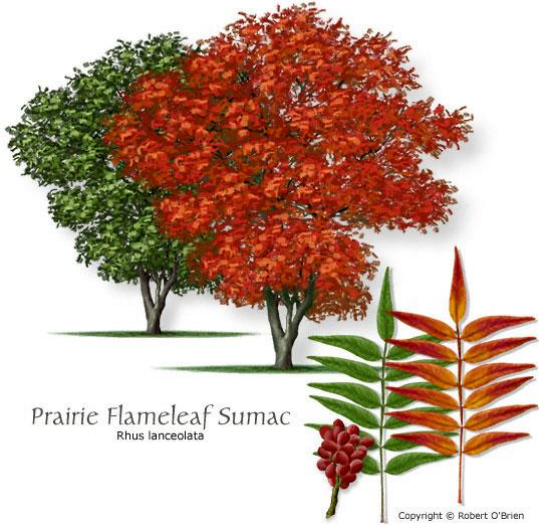


SHANTUNG MAPLE

LATIN NAME: ACER TRUNCATUM

SECONDARY NAMES: SHANDONG MAPLE, PURPLEBLOW MAPLE

- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 25' TO 35'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: RAPID
- NATIVE: NORTHERN CHINA
- SOIL NEEDS: LOAM, SANDY AND CLAY (ADAPTABLE)
- TOLERANCES: MODERATE DROUGHT
- FEATURES: MEDIUM SIZED TREE WITH DARK GREEN, GLOSSY LEAVES THAT CHANGE TO YELLOW ORANGE/BRIGHT RED IN THE FALL.
- FIREWISE: NO
- ISSUES: LEAF SPOT AND LEAF SCORCH
- SIMILAR SPECIES: JAPANESE MAPLES



Prairie Flameleaf Sumac
Rhus lanceolata

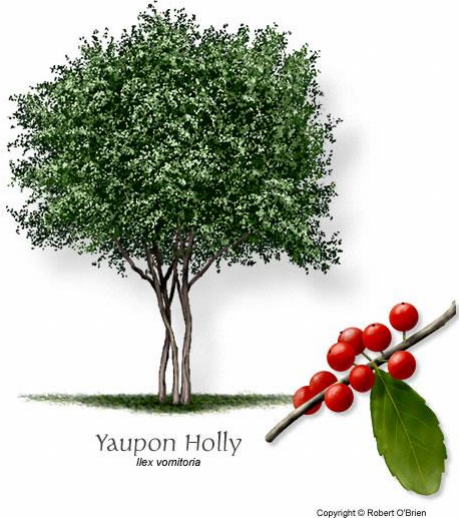
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FLAMELEAF SUMAC

LATIN NAME: RHUS LANCEOLATA

SECONDARY NAMES: PRAIRIE SUMAC, PRAIRIE FLAMELEAF SUMAC

- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 40' TO 50'
- LEAF TYPE: DECIDUOUS
- GROWTH RATE: MODERATE
- NATIVE: TEXAS
- SOIL NEEDS: NEUTRAL ALKALINE
- TOLERANCES: DROUGHT, ALKALINE SOILS [PH > 7.5]
- FEATURES: COMPOUND LEAVES TURN BRIGHT RED IN FALL; WHITE FLOWER SPIKES BEAR RED CLUSTERS OF BERRIES.
- USES: LANDSCAPE TREE
- FIREWISE: YES
- ISSUES: REQUIRES PRUNING TO DEVELOP ONE OR MORE TRUNKS.
- SIMILAR SPECIES: TEXAS SUMAC, LANCE-LEAVED SUMAC, LIMESTONE SUMAC AND PRAIRIE SHINING SUMAC



Yaupon Holly
Ilex vomitoria

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YAPON HOLLY

LATIN NAME: ILEX VOMITORIA

SECONDARY NAMES: YAUPON, CASSINA

- CITY TREE CLASSIFICATION: ACCENT TREE
- MATURE HEIGHT: 10' TO 20'
- LEAF TYPE: EVERGREEN
- GROWTH RATE: SLOW
- NATIVE: SOUTHEAST UNITED STATES (TEXAS)
- SOIL NEEDS: WELL DRAINED, SANDY, LOAMY, CLAY AND LIMESTONE
- TOLERANCES: DROUGHT AND VERY HIGH HEAT
- FEATURES: SMALL TREE WITH INCONSPICUOUS LIGHT GREEN BLOOMS AND RED BERRY LIKE DRUPE.
- USES: LANDSCAPE TREE
- FIREWISE: YES
- ISSUES: APHIDS, MINOR LEAF BEETLE & DUTCH ELM DISEASE
- SIMILAR SPECIES: EVERGREEN CASSENA, EMETIC HOLLY, INDIAN BLACK DRINK

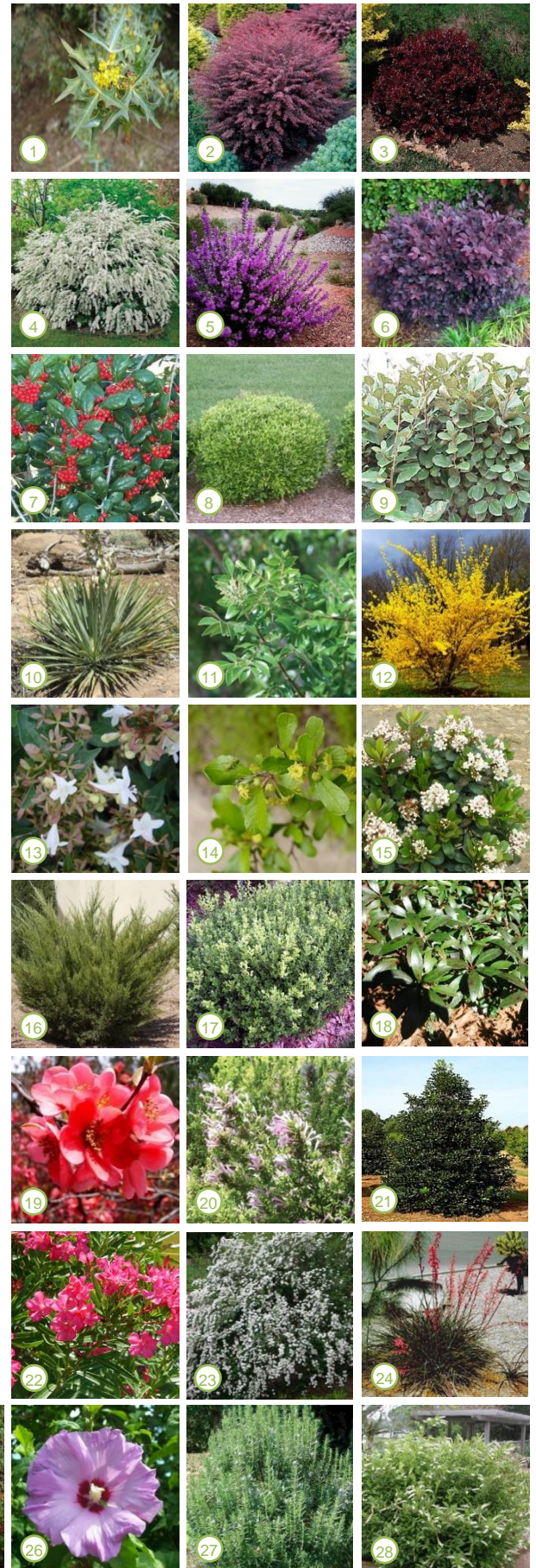


SECTION 05 | RECOMMENDED SHRUB VARIETIES

The following are the City of Rockwall's recommended shrub varieties.

	SHRUB	SCIENTIFIC NAME	SCR	XERI	
3	BARBERRY	BERBERIS THUMBERGII 'CRIMSON PYGMY'			SMALL SHRUBS
8	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NANA'			
10	YUCCA	YUCCA SP.		X	
16	JUNIPER	JUNIPERUS SP.			
17	JAPANESE BOXWOOD	BUXUS JAPONICA			
20	MEXICAN OREGANO	POLIOMENTHA LONGIFLORA			
24	RED YUCCA	HESPERALOE PARVIFOLIA		X	
25	ROCK ROSE	PAVONIA LASIOPETALA		X	
1	AGARITA	MAHONIA TRIFOLIOLATA		X	
2	BARBERRY	BERBERIS ATROPURPUREA 'ROSE GLOW'			
5	CENIZO (TEXAS SAGE)	LEUCOPHYLLUM SP.	X	X	
7	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	X		
14	HOGPLUM	COLUBRINA TEXENSIS			
15	INDIAN HAWTHORN	RAPHIOLEPIS INDICA			
19	JAPANESE QUINCE	CHAENOMELES JAPONICA			
23	PEARL BUSH	EXOCHORDA GIRALDII WILSONII			
27	ROSEMARY	ROSMARINUS OFFICINALIS		X	
28	VIRGINIA SWEETSPIRE	ITEA VIRGINICA			LARGE SHRUBS
4	BRIDAL WREATH SPIREA	SPIRAEA CANTONIENSIS	X	X	
6	CHINESE FRINGE	LOROPETALUM CHINENSE	X		
9	ELAEGNUS	ELAEAGNUS X EBBINGEI	X		
11	EVERGREEN SUMAC	RHUS VIRENS			
12	FORSYTHIA	FORSYTHIA INTERMEDIA 'SPECTABILIS'			
13	GLOSSY ABELIA	ABELIA X GRADIFLORA			
18	JAPANESE CLEYERA	CLEYERA TERNSTROEMIA GYMNANTHERA			
21	NELLIE STEVENS HOLLY	ILEX 'NELLIE R. STEVENS'	X		
22	OLEANDER	NERIUM OLEANDER	X		
26	ROSE OF SHARON	HIBISCUS SYRIACUS	X		

NOTES: XERI: XERISCAPE; SCR: SCREENING

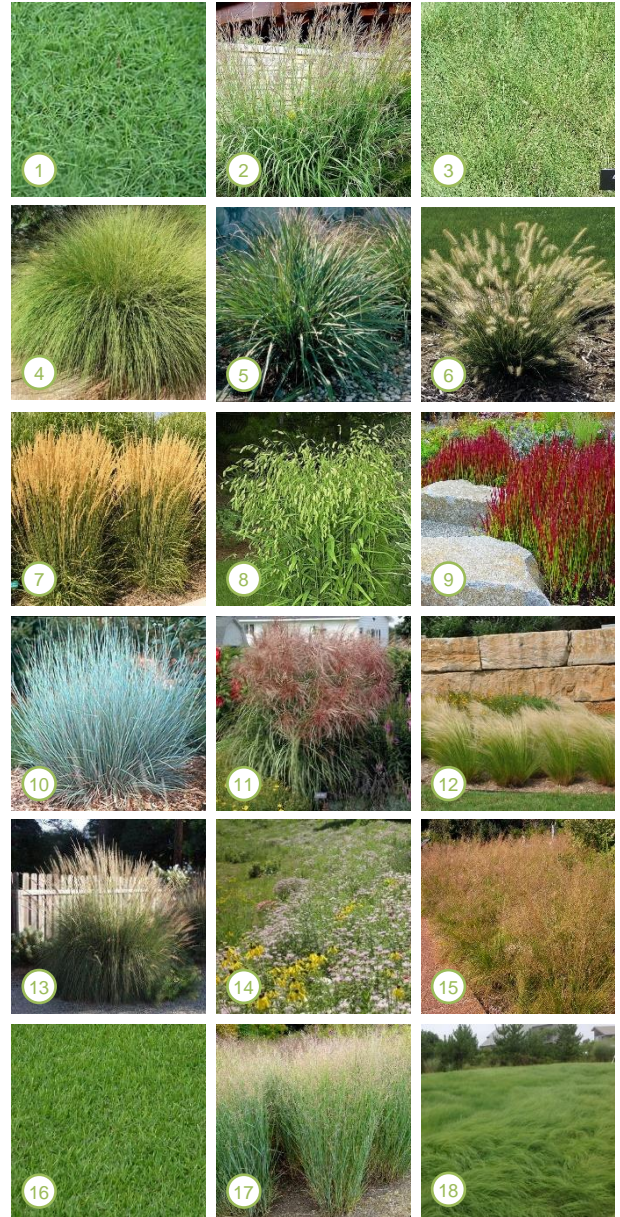




SECTION 06 | RECOMMENDED GRASSES

The following are the City of Rockwall's recommended grass varieties.

	GRASS	SCIENTIFIC NAME	XERI
①	BERMUDA GRASS	CYNODON DACTYLON	
②	BIG BLUESTEM	ANDROPOGON GERARDII	X
③	BUFFALO GRASS	BUCHLOE DACTYLOIDES	X
④	DEER MUHLY	MUHLENBERGIA RIGENS	
⑤	EASTERN GAMAGRASS	TRIPSACUM DACTYLOIDES	X
⑥	FOUNTAIN GRASS	PENNISETUM ALOPERCUROIDES 'HAMELIN'	
⑦	FEATHER REED GRASS	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	
⑧	INLAND SEA OATS	CHASMANTHIUM LATIFOLIUM	X
⑨	JAPANESE BLOOD GRASS	IMPERATA CYLINDRICA 'RED BARON'	
⑩	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	X
⑪	MAIDEN GRASS	ADAGIO, CABARET, GRACILLIMUS, MORNING LIGHT, VARIGATUS, ZEBRA GRASS	X
⑫	MEXICAN FEATHER GRASS	STIPA TENUISSIMA 'PONY TAILS'	X
⑬	MUHLY GRASS	MUEHELENBERGIA LINDHEIMERI	X
⑭	PRAIRIE MIX	N/A	X
⑮	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPSIS	
⑯	ST. AUGUSTINE GRASS	STENOTAPHRUM SECUNDATUM	X
⑰	SWITCH GRASS	PANICUM VIRGATUM	X
⑱	WEeping LOVE GRASS	ERAGROSTIS CURVULA	X



SECTION 07 | ALTERNATIVE PLANTING LIST

The following list shows all alternative plant types permitted by the City of Rockwall since the adoption of this Appendix C, *Landscape Guidelines*, of the Unified Development Code (UDC).

Trees.

Shrubs.

Grasses.

_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
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_____	_____	_____
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_____	_____	_____



TO: Mayor and City Council
DATE: April 15, 2024
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: P2024-011; *Final Plat for Phase 2 of the Terraces Subdivision*

SUMMARY

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Bret Pedigo of TM Terraces, LLC for the approval of a *Final Plat* for the Terraces Subdivision consisting of 82 single-family residential lots on a 21.648-acre tract of land being identified as a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses, generally located south of the intersection of Cornelius Road and FM-1141, and take any action necessary.

PLAT INFORMATION

- ☑ **Purpose.** The applicant is requesting the approval of a *Final Plat* for a 21.648-acre tract of land (*i.e. a portion of Tracts 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) for the purpose of establishing Phase 2 of the Terraces Subdivision, which will consist of 82 single-family residential lots and three (3) open space lots (*i.e. Lots 15-62, Block B; Lots 8-23, Block J; Lots 1-22, Block K, Terraces Phase 2 Subdivision*). Staff should note that the applicant has concurrently submitted a PD Site Plan [*Case No. SP2024-016*] in accordance with the procedures contained within the Planned Development District Ordinance.
- ☑ **Background.** The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 18, 2022, the City Council approved a zoning change [*Case No. Z2022-010; Ordinance No. 22-22*] from Agricultural (AG) District to Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses for Phase 1 of the Terraces Subdivision. On May 16, 2022, the City Council approved a preliminary plat [*Case No. P2022-015*] and a master plat [*Case No. P2022-016*] for Phase 1 of the Terraces Subdivision. On September 16, 2022, the City Council approved a zoning change [*Case No. Z2022-038; Ordinance No. 22-37*] to amend Planned Development District 93 (PD-93) to include the subject property. On October 17, 2022, the City Council approved a preliminary plat [*Case No. P2022-049*] and a master plat [*Case No. P2022-048*] for the subject property.
- ☑ **Parks Board.** On April 2, 2024, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay *Pro-Rata Equipment* fees of \$53,152.40 (*i.e. \$648.20x 82Lots*).
 - (2) The property owner shall pay *Cash in Lieu of Land* fees of \$56,634.94 (*i.e. \$690.67x 82 Lots*).
 - (3) The park fees will be used to provide amenity to the four (4) acre tract of land (*i.e. Tract 13-01 of the W. M. Dalton Survey, Abstract No. 72*) owned by the City of Rockwall north of the subject property in accordance with *Ordinance No. 22-37 (i.e. Planned Development District 93 [PD-93])*. The property owner shall provide receipts to the Director of Parks and Recreation showing that the amenities provided are equal to or greater than the fees assessed.
- ☑ **Conformance to the Subdivision Ordinance.** The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical

modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.

- Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.

CONDITIONS OF APPROVAL

If the City Council chooses to approve of the Final Plat for Phase 2 of the Terraces Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the final plat by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2024-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) 1
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) 1
- FINAL PLAT (\$300.00 + \$20.00 ACRE) 1
- REPLAT (\$300.00 + \$20.00 ACRE) 1
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) 1
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) 1
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) 1 & 2
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) 1

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) 2

NOTES:

1 IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
2 A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **2031 Terraces Blvd, Rockwall, TX 75087**

SUBDIVISION **ABS A0122, MB Jones, Tract 4-01**

LOT

BLOCK

GENERAL LOCATION **Approximately 1250 feet east of the intersection John King & FM 1141 South of 1141**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-93**

CURRENT USE **Single Family**

PROPOSED ZONING

PROPOSED USE

ACREAGE **21.648**

LOTS [CURRENT] **82**

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **TM Terraces, LLC**

APPLICANT **Michael Joyce Properties**

CONTACT PERSON **Bret Pedigo**

CONTACT PERSON **Ryan Joyce**

ADDRESS **4416 W. Lovers Lane, Suite 200**

ADDRESS **767 Justin Road**

CITY, STATE & ZIP **Dallas, TX 76209**

CITY, STATE & ZIP **Rockwall, TX 75087**

PHONE

PHONE **512-965-6280**

E-MAIL

E-MAIL **ryan@michaeljoyceproperties.com**

NOTARY VERIFICATION [REQUIRED]

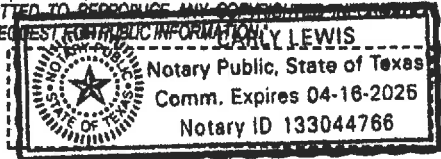
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRET L. PEDIGO [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 732.96 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF MARCH 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

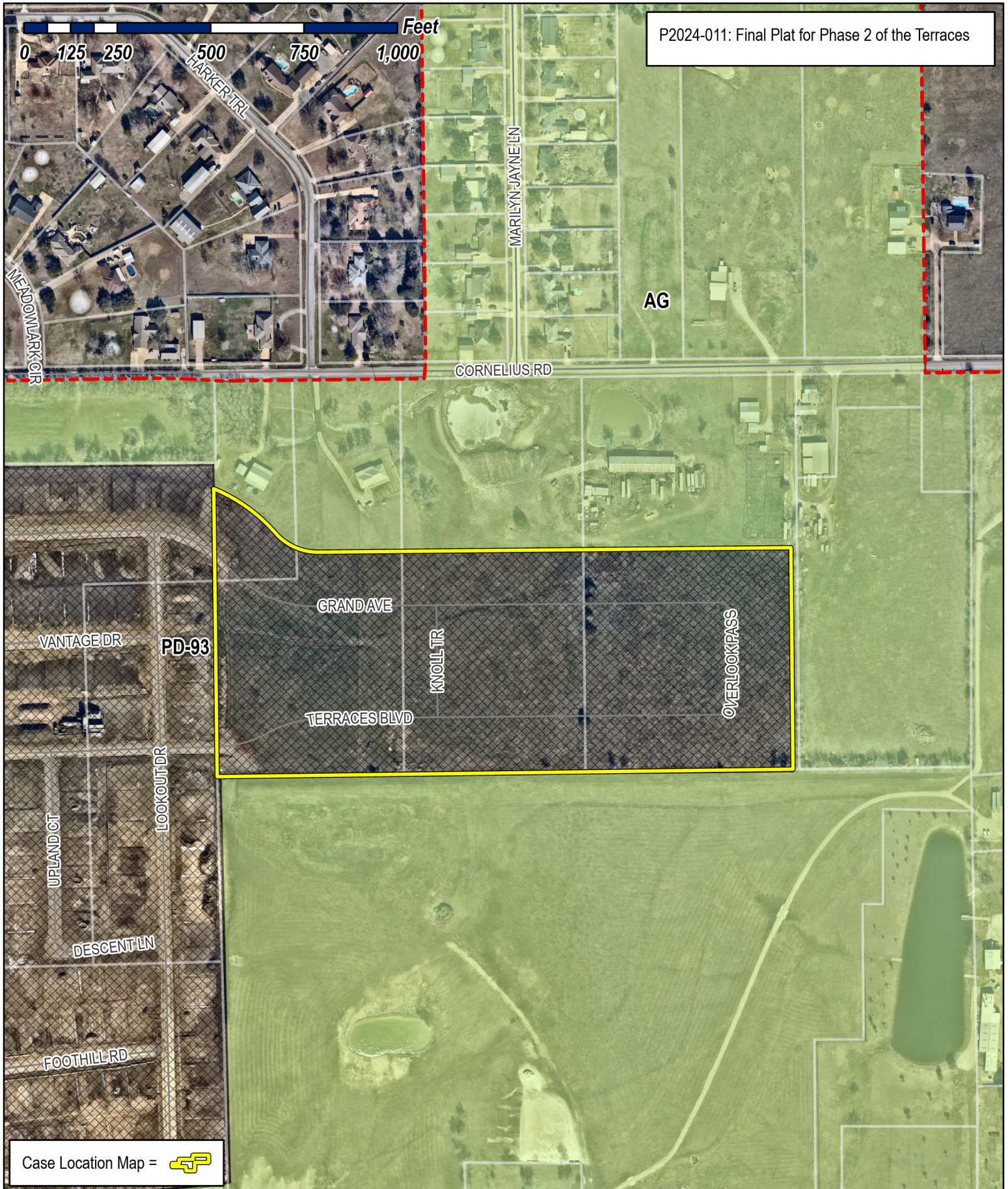
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF MARCH 2024

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 4-16-25



P2024-011: Final Plat for Phase 2 of the Terraces

Case Location Map = 

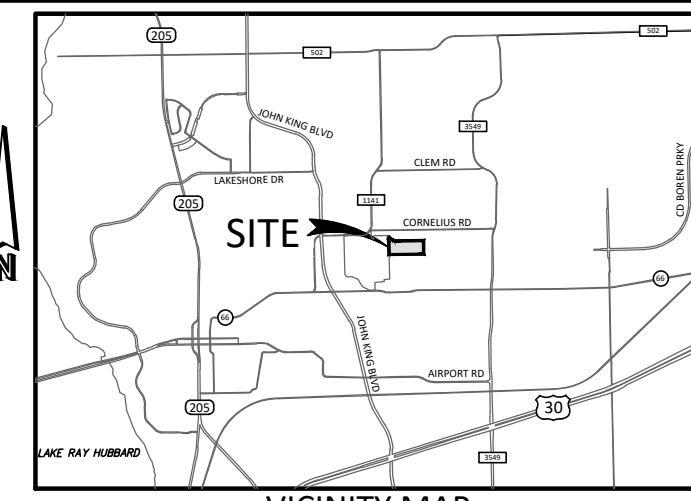
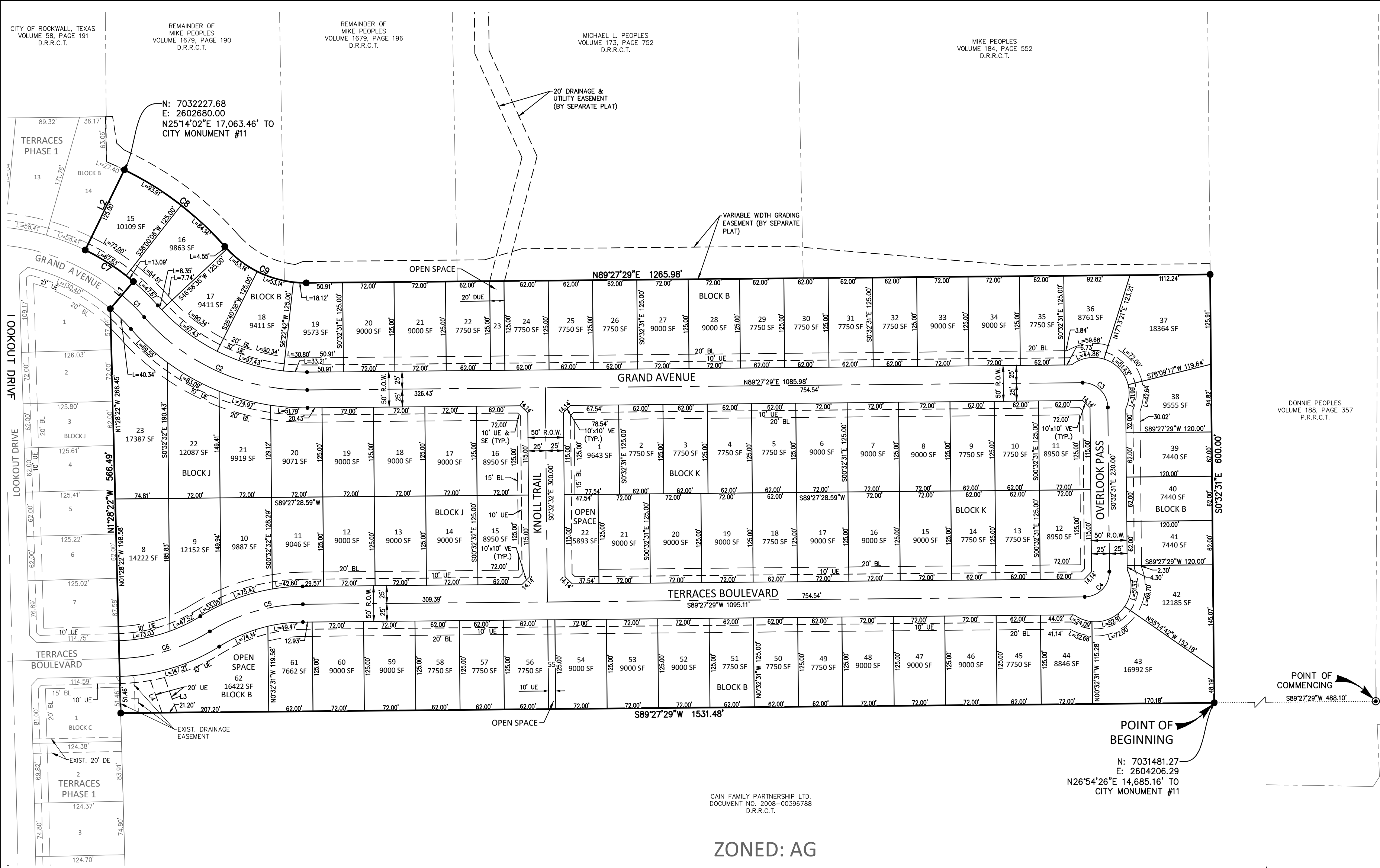


City of Rockwall

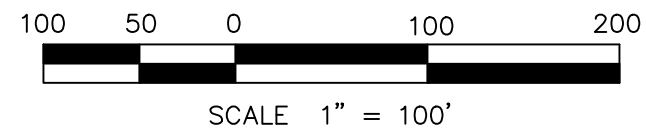
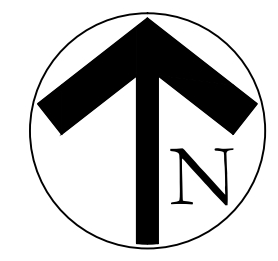
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
 - AC Acre
 - BL Building Line
 - C1 Curve No.
 - <CM> Control Monument
 - DE Drainage Easement
 - DUE Drainage Utility Easement
 - Esmt Easement
 - L1 Line No.
 - SF Square Feet
 - UE Utility Easement
 - VE Visibility Easement
 - SE Sidewalk Easement
 - D.R.R.C.T.= Deed Records of Rockwall County, Texas
 - P.R.R.C.T.= Plat Records of Rockwall County, Texas



FINAL PLAT TERRACES PHASE 2

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;
LOTS 1-22, BLOCK K
21.648 ACRES OR 942,975 SQ. FT.
82 SINGLE FAMILY LOTS,
4 OPEN SPACE LOTS
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
AND ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2022-049

March 5, 2024
EXIST. ZONING: PD-93
LAND USE: SF
SHEET 1 OF 2

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 119652 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Owner/Applicant:
TM Terraces, LLC
4416 W. Lovers Ln, Suite 200
Dallas, Texas 75209
Phone: 214-577-1431

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE

CAIN FAMILY PARTNERSHIP LTD.
DOCUMENT NO. 2008-00396788
D.R.R.C.T.

ZONED: AG

- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PLAT 48139C0325F DATED JUNE 3, 2013.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
 - PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
 - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
 - ALL NON-STANDARD SIGNS, LIGHTS, AND HARDWARE ARE TO BE MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER OR HOA.

Line Table		
Line	Length	Direction
L1	50.00	N40° 18' 38"E
L2	125.00	N26° 02' 41"E
L3	52.23	N19° 53' 05"W
L4	47.98	N19° 53' 05"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	44.01	300.00	008°24'17"	43.97	N45° 29' 13"W
C2	257.91	300.00	049°15'27"	250.04	S65° 54' 48"E
C3	54.98	35.00	090°00'00"	49.50	N45° 32' 31"W
C4	54.98	35.00	090°00'00"	49.50	N44° 27' 29"E
C5	137.34	250.00	031°28'34"	135.62	S73° 43' 11"W
C6	133.88	250.00	030°40'58"	132.29	N73° 19' 23"E
C7	80.92	325.00	014°15'57"	80.71	N56° 49' 20"W
C8	178.05	450.00	022°40'14"	176.89	S52° 37' 12"E
C9	128.96	150.00	049°15'27"	125.02	S65° 54' 48"E

LEGAL DESCRIPTION:

BEING a tract of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, City of Rockwall, Rockwall County, Texas and being part of that tract of land described in Deed to Michael L. Peoples, as recorded in Volume 173, Page 752, Deed Records, Rockwall County, Texas and being part of those tracts of land described in Deed to Mike Peoples, as recorded in Volume 184, Page 522 and Volume 1679, Page 190 and Volume 1679, Page 196, Deed Records, Rockwall County, Texas and being and being more particularly described as follows:

COMMENINCING at a 1/2 inch iron rod found for the common southeast corner of that tract of land described in Deed to Donnie Peoples, as recorded in Volume 188, Page 357, Deed Records, Rockwall County, Texas and northeast corner of that tract of land described in Deed to Cain Family Partnership Ltd., as recorded in Document No. 2008-00396788, Deed Records, Rockwall County, Texas;

THENCE South 89 degrees 27 minutes 29 seconds West, with the common south line of said Donnie Peoples tract and north line of said Cain Family Partnership Ltd. tract, a distance of 488.10 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the POINT OF BEGINNING of the tract of land herein described, said point being the common southwest corner of said Donnie Peoples tract and southeast corner of said Mike Peoples tract recorded in Volume 184, Page 522;

THENCE South 89 degrees 27 minutes 29 seconds West, with the north line of said Cain Family Partnership Ltd. tract, a distance of 1,531.48 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for the common northwest corner of said Cain Family Partnership Ltd. tract and an interior ell corner of said Mike Peoples tract recorded in Volume 1679, Page 196;

THENCE North 01 degrees 28 minutes 22 seconds West, a distance of 566.49 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner;

THENCE North 40 degrees 18 minutes 38 seconds East, a distance of 50.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a non-tangent curve to the left having a central angle of 14 degrees 15 minutes 57 seconds, a radius of 325.00 feet and a chord bearing and distance of North 56 degrees 49 minutes 20 seconds West, 80.71 feet;

THENCE Northwesterly, with said curve to the left, an arc distance of 80.92 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a corner;

THENCE North 26 degrees 02 minutes 41 seconds East, a distance of 125.00 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for a corner at the beginning of a non-tangent curve to the right having a central angle of 22 degrees 40 minutes 14 seconds, a radius of 450.00 feet and a chord bearing and distance of South 52 degrees 37 minutes 12 seconds East, 176.89 feet;

THENCE Southeasterly, with said curve to the left, an arc distance of 128.96 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner at the beginning of a reverse curve to the left having a central angle of 49 degrees 15 minutes 27 seconds, a radius of 150.00 feet and a chord bearing and distance of South 65 degrees 54 minutes 48 seconds East, 125.02 feet;

THENCE North 89 degrees 27 minutes 29 seconds East, a distance of 1,265.98 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "JVC" set for corner in the common east line of said Mike Peoples tract recorded in Volume 184, Page 522 and west line of said Donnie Peoples tract;

THENCE South 00 degrees 32 minutes 31 seconds East, with said common line, a distance of 600.00 feet to the POINT OF BEGINNING and containing 21.648 acres of land more or less.

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the TERRACES – PHASE 2 subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TERRACES – PHASE 2 subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature _____
Name _____
Title _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared _____, of TM TERRACES, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public for and in the State of Texas

My commission expires: _____

Planning & Zoning Commission, Chairperson

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

FINAL PLAT TERRACES PHASE 2

LOTS 15-62, BLOCK B; LOTS 8-23, BLOCK J;
LOTS 1-22, BLOCK K

21.648 ACRES OR 942,975 SQ. FT.

82 SINGLE FAMILY LOTS,

4 OPEN SPACE LOTS

SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,

AND ALL OF TRACT 13 & 25 OF THE

WILLIAM DALTON SURVEY, ABSTRACT NO. 72

AND TRACT 4 & 4-01 OF THE

M.B. JONES SURVEY, ABSTRACT NO. 122

CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

P2022-049

March 5, 2024

EXIST. ZONING: PD-93

LAND USE: SF

SHEET 2 OF 2

Owner/Applicant:
TM Terraces, LLC
4416 W. Lovers Ln, Suite 200
Dallas, Texas 75209
Phone: 214-577-1431

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 15, 2024
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: P2024-009; *Final Plat for Lots 1-8, Block L, Peoples Tract Addition*

SUMMARY

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Final Plat for Lots 1-8, Block A, Peoples Tract Addition being a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The applicant is requesting the approval of a Final Plat for a 15.561-acre tract of land (*i.e. Tract 10-02, 10-03, 25-1 & 26 of the W. M. Dalton Survey, Abstract No. 72*) for the purpose of establishing eight (8) single-family residential lots (*i.e. Lots 1-8, Block A, Peoples Tract Addition*). Staff should note that the applicant has concurrently submitted a zoning change [Case No. Z2024-015] for the subject property proposing to change the zoning from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District. As a condition of approval for this subdivision plat, this zoning case would need to be approved. This means that if the subdivision plat is approved by the City Council, the plat will not be considered fully approved and be able to be recorded with Rockwall County until after the anticipated second reading of the proposed zoning ordinance on May 6, 2024. Staff should note that if the City Council denies this zoning case, the subsequent conditional approval of this subdivision plat would not be valid.
- ☑ Background. The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01* [Case No. A2009-005]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On December 6, 2021, the City Council adopted *Ordinance No. 21-58* [Case No. Z2021-047; S-265] allowing an *Animal Shelter or Loafing Shed* on a portion of the subject property (*i.e. 555 Cornelius Road*). On September 6, 2022 a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72 were rezoned to Planned Development District 93 (PD-93) [Case No. Z2022-038; *Ordinance No. 22-47*] for the purpose of incorporating this land into the Terraces Subdivision. The remainder of the subject property remained unchanged and is zoned Agricultural (AG) District.
- ☑ Parks Board. On April 2, 2024, the Parks and Recreation Board reviewed the Final Plat and made the following recommendations concerning the proposed subdivision:
 - (1) The property owner shall pay *Pro-Rata Equipment* fees of \$3,241.00 (*i.e. \$648.20 x 5 Lots*).
 - (2) The property owner shall pay *Cash in Lieu of Land* fees of \$3,453.35 (*i.e. \$690.67 x 5 Lots*).
- ☑ Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications, submittal requirements, and conformance to the items listed in the Conditions of Approval section of this case memo.
- ☑ Conditions of Approval. Conditional approval of this Final Plat by the City Council shall constitute approval subject to the conditions stipulated in the Conditions of Approval section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Final Plat for Lots 1-8, Block A, Peoples Tract Addition, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to release of the civil engineering plans; and,
- (2) The development shall adhere to the Parks and Recreation Department's recommendations as outlined above in this case memo; and,
- (3) If approved by the City Council, this subdivision plat will be deemed to be conditionally approved until after the approval of the proposed zoning change [*Case No. Z2024-015*]. If the City Council denies the proposed zoning change, this subdivision plat will be considered to be denied and shall not be filed with Rockwall County; and,
- (4) Any construction resulting from the approval of this Final Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Final Plat by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	333 Cornelius Road		
SUBDIVISION	M.B. Jones Survey, Abstract No. 122	LOT	BLOCK
GENERAL LOCATION	Approximately 1250 ft east of the intersection John King & FM 1141 South of 1141		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-93	CURRENT USE	
PROPOSED ZONING	SFE-1.5	PROPOSED USE	
ACREAGE	15.561	LOTS [CURRENT]	4
		LOTS [PROPOSED]	8

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Mike Peoples	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	Mike Peoples	CONTACT PERSON	Ryan Joyce
ADDRESS	PO Box 41	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

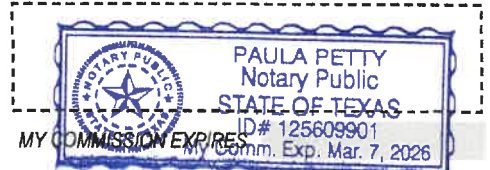
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 611.22 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

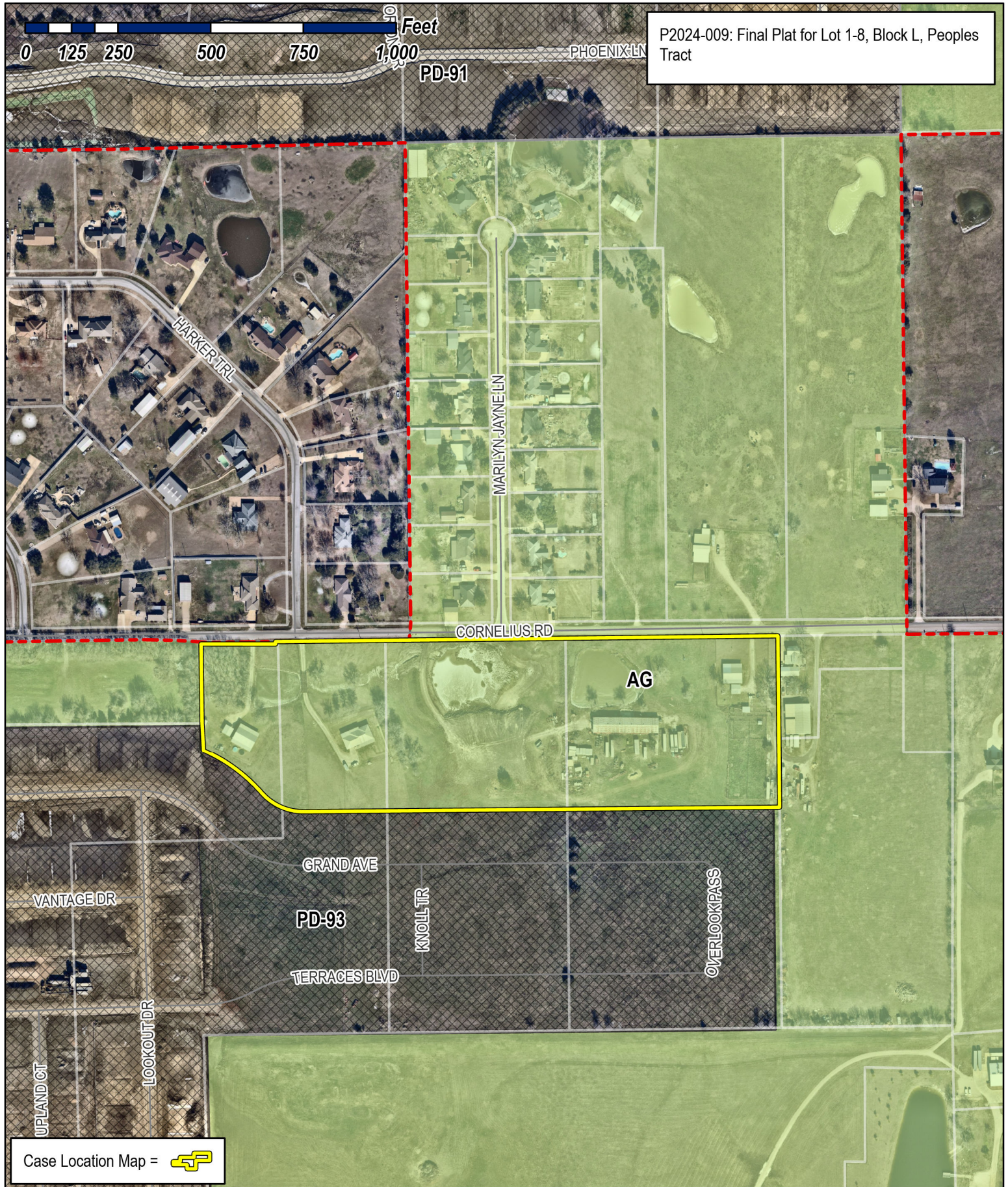
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF March, 2024

OWNER'S SIGNATURE


[Signature]
Paula Petty

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





P2024-009: Final Plat for Lot 1-8, Block L, Peoples Tract

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



FIELD NOTE DESCRIPTION

15.561 ACRES

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C.T.) same being the northwest corner of the tract of land described herein;

THENCE, North 89degrees 31minutes 25seconds East, a distance of 485.01 feet to a point for a corner of this tract;

THENCE, North 00degrees 28minutes 35seconds West, a distance of 10.64 feet to a point for a corner of this tract;

THENCE, North 89degrees 17minutes 06seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

THENCE, South 00degrees 32minutes 31seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

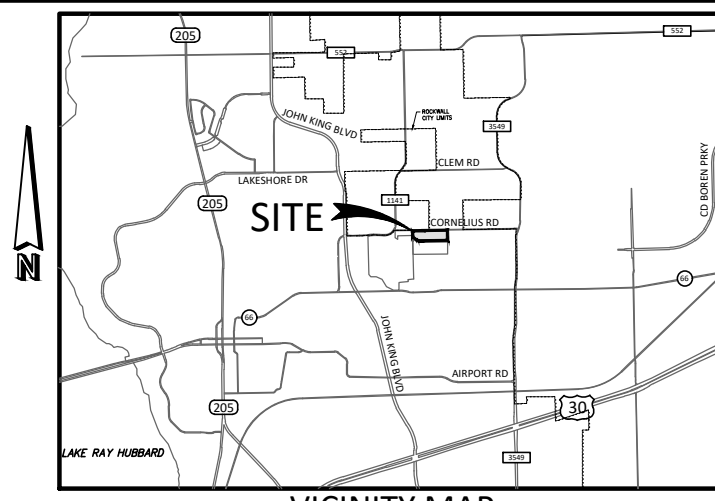
THENCE, South 89degrees 27minutes 29seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of $49^{\circ} 15' 27''$, a radius of 150.00 feet, and a long chord bearing and distance of North 65degrees 54minutes 48seconds West, 125.02 feet;

THENCE, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of $26^{\circ} 09' 34''$, a radius of 450.00 feet, and a long chord bearing and distance of North 54degrees 21minutes 52seconds West, 203.68 feet;

THENCE, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 20240000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

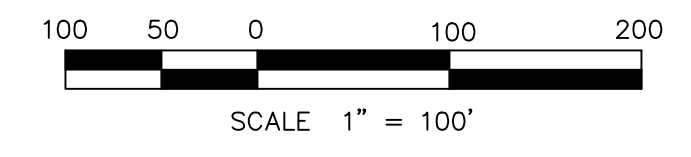
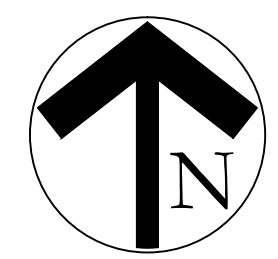
THENCE, North 01degrees 28minutes 22seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00degrees 06minutes 44seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the **POINT OF BEGINNING** and containing 677,846 square feet or 15.561 acres of land.



VICINITY MAP
N.T.S.

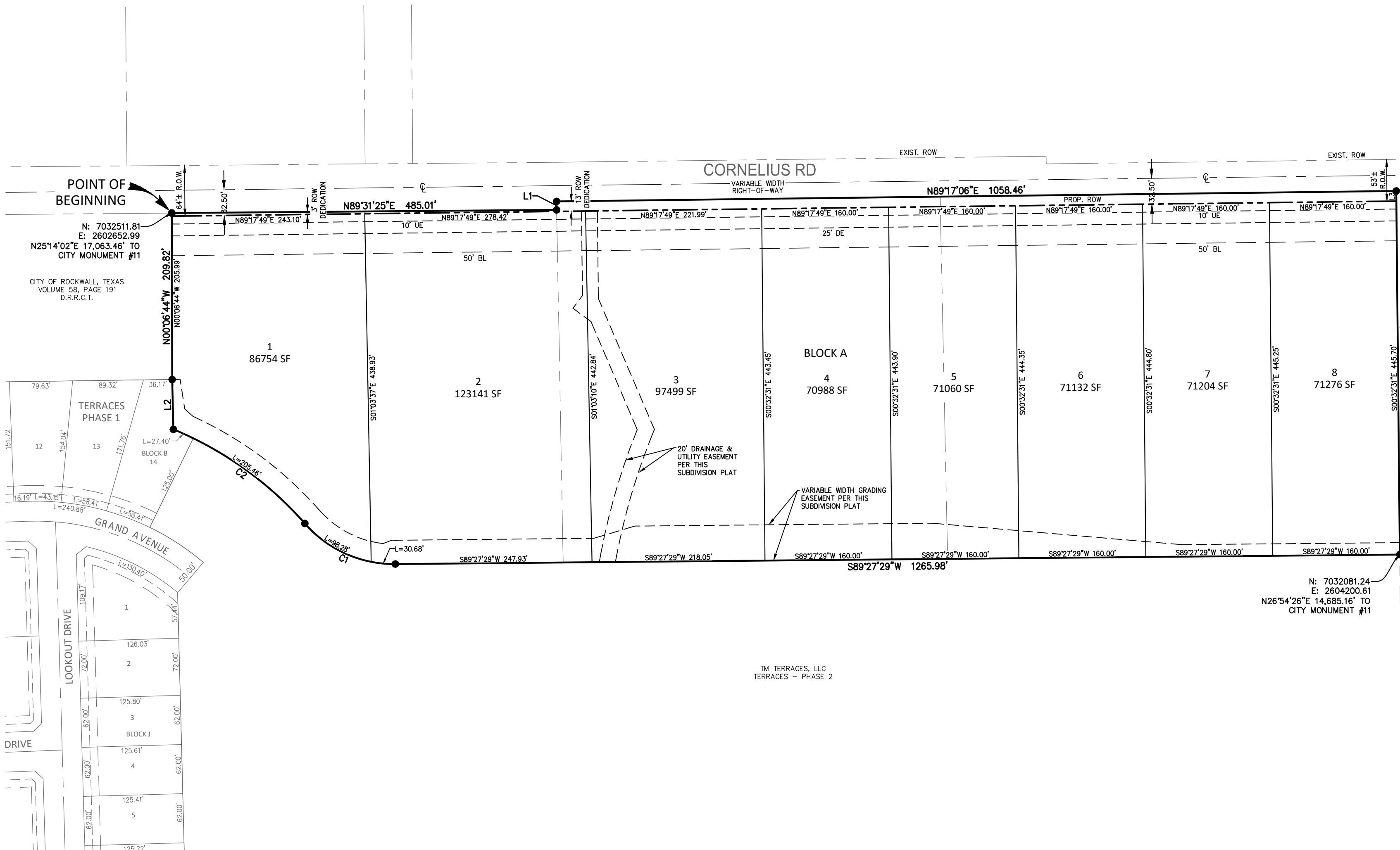
- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
SE Sidewalk Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



**FINAL PLAT
LOTS 1-8, BLOCK A
PEOPLES TRACT
ADDITION**

BEING 8 LOTS
15.561 ACRES OR 677,846 SQ. FT.
8 SINGLE FAMILY LOTS
SITUATED IN THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2024-009

March 28, 2024
SHEET 1 OF 2



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - SUBDIVIDER'S STATEMENT. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY WITHHOLDING UTILITIES AND BUILDING PERMITS.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - PUBLIC IMPROVEMENT STATEMENT. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY.
 - DRAINAGE AND DETENTION EASEMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING AND REPLACING AND SHALL BEAR SOLE RESPONSIBILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
 - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
 - STREET APPURTENANCES. ALL DECORATIVE SIGNAGE, POSTS OR LIGHTS INSTALLED IN PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED, AND REPLACED BY THE HOMEOWNER'S ASSOCIATION (HOA).
 - FIRE LANES. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON-SITE AND OFF-SITE LANE IMPROVEMENTS.

Line Table		
Line	Length	Direction
L1	10.64	N00° 28' 35" W
L2	63.06	N01° 28' 22" W
L3	12.77	N00° 32' 31" W

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	128.96	150.00	049°15'27"	125.02	N65° 54' 48"W
C2	205.46	450.00	026°09'34"	203.68	N54° 21' 52"W

Owner:
Mike Peoples
P.O. Box 41
Rockwall, Texas 75087

Developer:
Michael Joyce Properties
767 Justin Rd
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



LEGAL DESCRIPTION:

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

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THENCE, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01 feet to a point for a corner of this tract;

THENCE, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64 feet to a point for a corner of this tract;

THENCE, North 89 degrees 17 minutes 06 seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

THENCE, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

THENCE, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00 feet, and a long chord bearing and distance of North 65 degrees 54 minutes 48 seconds West, 125.02 feet;

THENCE, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00 feet, and a long chord bearing and distance of North 54 degrees 21 minutes 52seconds West, 203.68 feet;

THENCE, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 2024000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

THENCE, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the POINT OF BEGINNING and containing 677,846 square feet or 15.561 acres of land.

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I, the undersigned owner of the land shown on this plat, and designated herein as the PEOPLES TRACT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the PEOPLES TRACT subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my (our) successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Signature _____
Name _____
Title _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared _____, of Micheal L. Peoples, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public for and in the State of Texas

My commission expires: _____

Planning & Zoning Commission, Chairperson

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

**FINAL PLAT
LOTS 1-8, BLOCK A
PEOPLES TRACT
ADDITION**

BEING 8 LOTS
15.561 ACRES OR 677,846 SQ. FT.
8 SINGLE FAMILY LOTS

SITUATED IN THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2024-009

March 28, 2024

SHEET 2 OF 2

Owner:
Mike Peoples
P.O. Box 41
Rockwall, Texas 75087

Developer:
Michael Joyce Properties
767 Justin Rd
Rockwall, Texas 75087
Phone: 512-965-6280

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE





CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Mary Smith, City Manager
FROM: Travis E. Sales, Director Parks, Recreation and Animal Services
DATE: April 15, 2024
SUBJECT: Harry Myers West Parking Lot Expansion

This project is for the expansion of the east parking lot at Harry Myers Park which will add an additional 40 spaces of parking where park visitors are parking in the grass currently.

We just completed a similar project on the west parking lot at Kidzone at Harry Myers Park and it has resolved our parking issues in that area.

Special event season is just around the corner and we feel this expansion will resolve many of the current parking issues and prevent the park from constantly being damaged from vehicle parking in the grass and ditches.

Total Project Cost: \$59,900.00

B&B Concrete and Sawing currently has a large contract with the City of Mesquite that the City of Rockwall has used for our Street Department and this bid would be utilizing that same methodology.

This project would be funded out of Park Land Dedication Fees for park development of Park District 21.

For Council consideration is this Harry Myers Parking Lot Expansion project bid to the above listed vendor for \$59,900 and authorize the City Manager to execute a purchase order for this project.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: April 15, 2024

APPLICANT: Mark Fernandez; *Lithia C/O Golden Property Development, LLC*

CASE NUMBER: Z2024-010; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership 1790 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a *Specific Use Permit (SUP)* for a *New Motor Vehicle Dealership for Cars and Light Trucks* to allow the expansion of an existing *New Motor Vehicle Dealership* on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 5, 2006 when the City Council approved *Ordinance No. 06-19 (Case No. Z2006-007)* changing the zoning to a Light Industrial (LI) District. On June 12, 2007, the Planning and Zoning Commission approved a site plan and preliminary plat (*Case No. SP2007-013; Case No. P2007-014*) to allow the construction of a *New Motor Vehicle Dealership for Cars and Light Trucks*, and on June 18, 2007, the City Council approved the preliminary plat and denied a variance to the cross-access requirements of the IH-30 Overlay District. On February 18, 2008, the City Council approved a final plat (*Case No P2008-005*) that establish the subject property as Lot 1, Block 1, Rockwall KIA Addition.

Staff should note that all *New Motor Vehicle Dealership for Cars and Light Trucks* are required to receive a Specific Use Permit (SUP) within the Light Industrial (LI) District. In this case, before 2008 the Unified Development Code (UDC) did not require *New Motor Vehicle Dealership for Cars and Light Trucks* to obtain a SUP. Given that the *New Motor Vehicle Dealership for Cars and Light Trucks* on the subject property began the development process before the Unified Development Code (UDC) changed, their land use was considered to be vested or legally conforming after the change was made to require the SUP. Recently, the applicant approached staff about increasing the size of the *New Motor Vehicle Dealership*. According to Section 04, *Board of Adjustments*, of Article 02, *Development Review Authority*, of the Unified Development Code (UDC), to expand a non-conforming land use the applicant could either [1] submit a request to the Board of Adjustments (BOA) requesting approval of the expansion, or [2] submit a development application for a Specific Use Permit (SUP) in order to bring the land use into conformance with the current Unified Development Code (UDC). In this case, the applicant opted to request the Specific Use Permit (SUP).

PURPOSE

The applicant -- *Mark Fernandez of Lithia C/O Golden Property Development, LLC* -- is requesting approval of a Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1790 E. IH-30 and is currently being used as a *Motor Vehicle Dealership* (i.e. *Southwest Kia of Rockwall*), with a *Major Automotive Repair Garage* as an accessory use. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the intersection of Conveyor Street and the westbound frontage road. On the west side of Conveyor Street are two (2) parcels of land (i.e. *part of Lot 1, Block C, Rockwall Commercial Park Addition; Tract 5-1 of the J. Lockhart Survey, Abstract No. 134*) developed with a *Pawn Shop* (i.e. *Rockwall Pawn*) and an *Office/Warehouse* (i.e. *Firehouse Heating and Air*). Both properties are zoned Light Industrial (LI) District. East of Conveyor Street are two (2) parcels of land (i.e. *two (2) parts of Lot 1, Block D, Rockwall Commercial Park Addition*) zoned Commercial (C) District. One (1) property is developed with a *Building and Landscape Material Supply Company* (i.e. *A-1*) followed by a vacant parcel.

South: Directly south of the subject property is a 43.237-acre parcel of land (i.e. *Lot 1, Block A, Stream 549 Addition*) developed with a ~301,120 SF *Warehouse/Distribution Center*. Beyond this is an 8.482-acre parcel of land (i.e. *Lot 8, Block C, Rockwall Technology Park Addition*) developed with a *Warehouse/Distribution Center*. Both properties are zoned Light Industrial (LI) District.

East: Directly east of the subject property are two (2) tracts of land (i.e. *Tracts 9-01 & 9-10 of the J. Lockhart Survey, Abstract No. 134*) developed with Light Industrial (LI) land uses (i.e. *Auto Auction; Mini-Warehouse*) and are zoned Agricultural (AG) District. Beyond this are several tracts of land (i.e. *Tract 9-02 & 9-5 of the J. Lockhart Survey, Abstract No. 134; Lots 1 & 2, DBK Addition; Lot 1, Block A, K. H. D. Inc. Subdivision; Lot 1, Block 1, Cavender's Addition*) zoned Light Industrial (LI) District.

West: Directly west of the subject property are three (3) parcels of land (i.e. *Lot 1, Block A, Service King IH-30 Addition; Lots 1 & 2, Block A, McKeown-Belaustegui Addition*) developed with industrial land uses (i.e. *Auto Repair, Mini-Warehouse, and Recreational Vehicle Repair*) and are zoned Light Industrial (LI) District. Beyond this is a 14.7506-acre parcel of land (i.e. *Lot 1, Block A, Nissan of Rockwall Addition*) developed with a *New Motor Vehicle Dealership for Cars and Light Trucks* (i.e. *Cavender Nissan Rockwall*) zoned Light Industrial (LI) District and Commercial (C) District.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

Along with the development application, the applicant submit a site plan and building elevations. Based on the site plan submitted by the applicant, the existing *Office/Sales Floor* will be increased by ~2,000 SF, with minor grade changes being proposed in front of the proposed building (*i.e. between the front façade and the parking area adjacent to IH-30*) to address current drainage issues. They are not requesting to change any other aspects of the site (*i.e. fire lanes, parking, vehicle delivery, etc.*). Staff has included this site plan into the draft ordinance in order to generally tie down what the applicant is proposing. With that being said, based on the building elevations provided by the applicant there will need to be variances approved in association with the building design. Given this, staff did not include the building elevations in the draft ordinance. This will allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations at the time of site plan, and the applicant greater flexibility when proposing changes to the façade of the building in the future (*e.g. when making minor changes for rebranding purposes*).

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the "(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with item one (1) of these requirements. The landscaping on the site was originally approved in 2007, and is considered to be legally non-conforming; however, staff has informed the applicant that at the time of site plan they will be required to meet the current landscaping requirements of the *General Overlay District Standards* in accordance with the Unified Development Code (UDC).

With regard to the *Major Automotive Repair Garage* land use, Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). In this case, the proposed *Major Automotive Repair Garage* bay doors do not face onto a public right-of-way, park or open space, or residentially used property; however, they face onto residentially zoned property. Directly adjacent to the subject property -- *to the east* -- is an Agriculturally zoned property. According to Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code (UDC), an Agricultural (AG) District is considered a residential zoning designation. In this case, the adjacent property is zoned Agricultural (AG) District, but is developed with a Light Industrial (LI) land use, and is designated as being in the Special Commercial Corridor per the *Future Land Use Map* contained in the OURHometown Vision 2040 Comprehensive Plan. Given that the adjacent property is currently not developed as a residential property, the property is not designated as residential in the future, and the *Major Automotive Repair Garage* is existing, this does not appear to create issues with the intent of the *Conditional Land Use Standards*.

STAFF ANALYSIS

Today, the existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and accessory *Major Auto Repair Garage* land uses are considered legally non-conforming per the current *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC). To facilitate the expansion of the of the existing *New Motor Vehicle Dealership*, the applicant is requesting a Specific Use Permit (SUP) for the *New Motor Vehicle Dealership for Cars and Light Trucks*, and *Major Auto Repair Garage* as an accessory use in order to bring land uses established on the subject property into conformance with the current requirements. In addition, the applicant will be subject to the building and landscape requirements outlined in the *General Overlay District Standards* and Article 08, *Landscape and Fence Standards*, contained within the Unified Development Code (UDC) at the time of site plan. Given this, the applicant is bringing the property closer into conformance with the standards outlined within the Unified Development Code (UDC).

Staff should note that the applicant submit building elevations that appear to require variances for approval. Given this, staff opted to have these reviewed at the time of site plan to allow the Architectural Review Board (ARB) and the Planning and Zoning Commission greater flexibility in making recommendations related to design, and allow the applicant greater flexibility in changing the exterior of the dealership in the future (*i.e. it will only require an amended site plan as opposed to having to amend the Specific Use Permit [SUP] first*). With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 19, 2024, staff mailed 28 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) returned notice in-favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership* and accessory *Major Auto Repair Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
 - (b) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
 - (c) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
 - (d) The outside storage of tires or any other automotive parts shall be prohibited.
 - (e) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1790 I-30 Frontage Rd

SUBDIVISION Rockwall Kia

LOT 1

BLOCK 1

GENERAL LOCATION South side of East I-30, 1785'+- from John King Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Existing Southwest KIA Car Dealership

PROPOSED ZONING SUP (New & Used Motor Vehicle Dealership)

PROPOSED USE Existing Southwest KIA Car Dealership to remain

ACREAGE 5.9915

LOTS [CURRENT] 1

1

LOTS [PROPOSED] 1

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Zohreh Malek

APPLICANT Lithia c/o Golden Property Development, LLC

CONTACT PERSON

CONTACT PERSON Mark Fernandez

ADDRESS 3845 Oak Lawn Ave

ADDRESS 20025 E Country Hollow Dr

CITY, STATE & ZIP Dallas TX 75219

CITY, STATE & ZIP Walnut, CA 91789

PHONE 214-727-7422

PHONE 909-573-2765

E-MAIL

E-MAIL mark@goldenpropertydevelopment.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Zohreh Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 289.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF March, 2024.

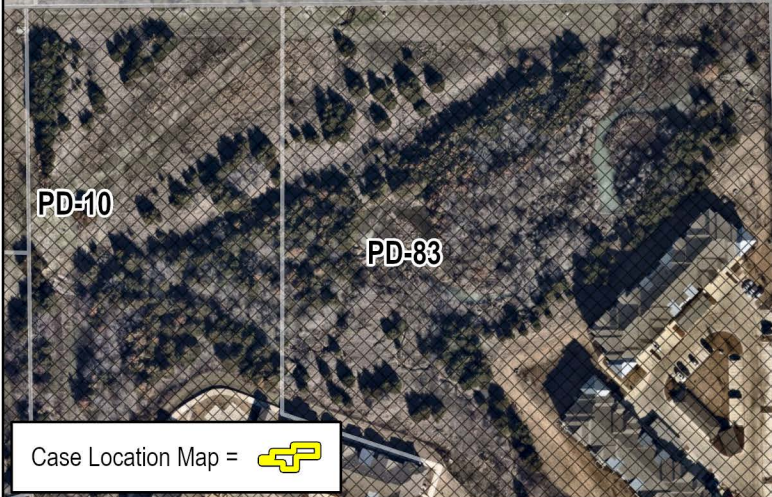
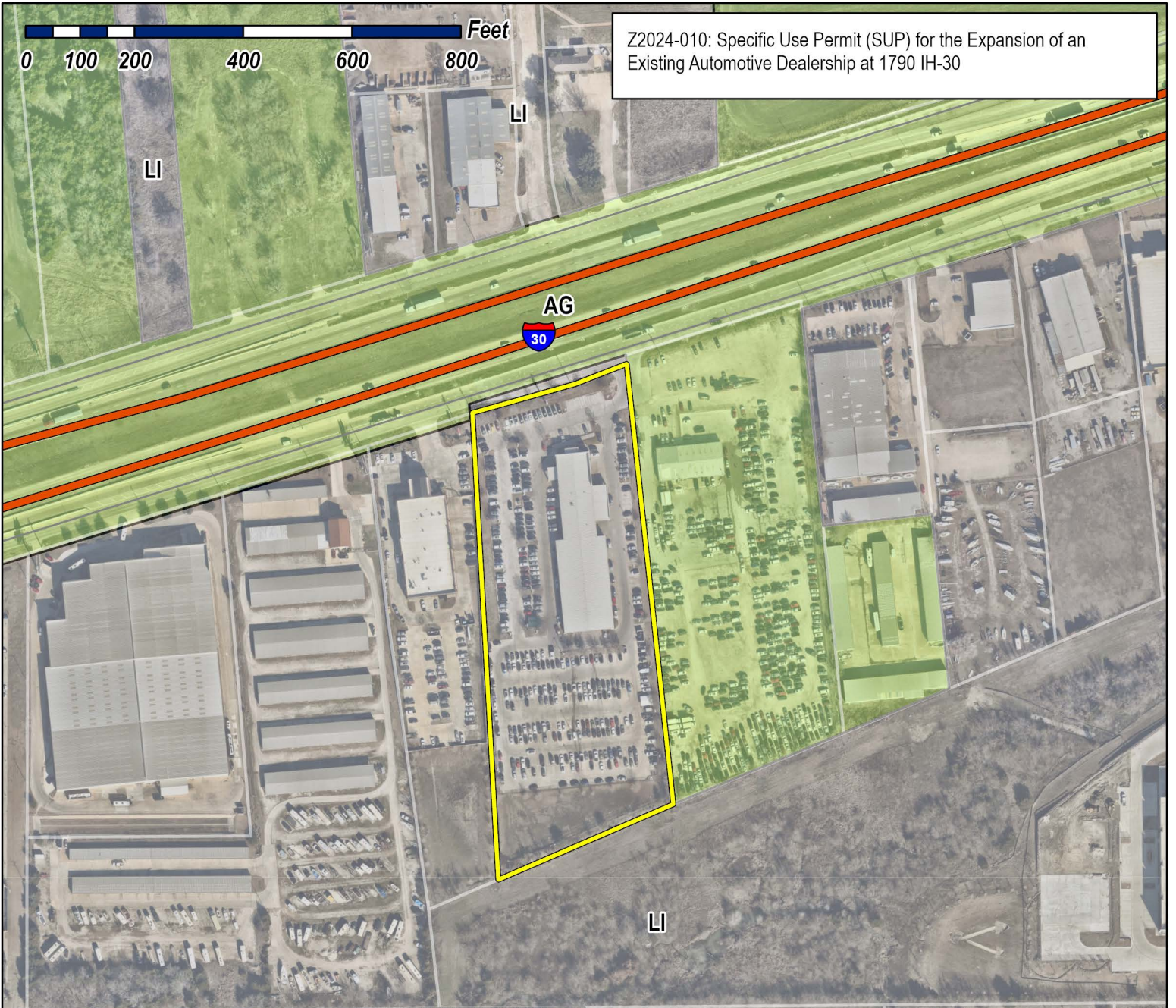
OWNER'S SIGNATURE Zohreh Malek

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS C. Hughes



0 100 200 400 600 800 Feet

Z2024-010: Specific Use Permit (SUP) for the Expansion of an Existing Automotive Dealership at 1790 IH-30



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

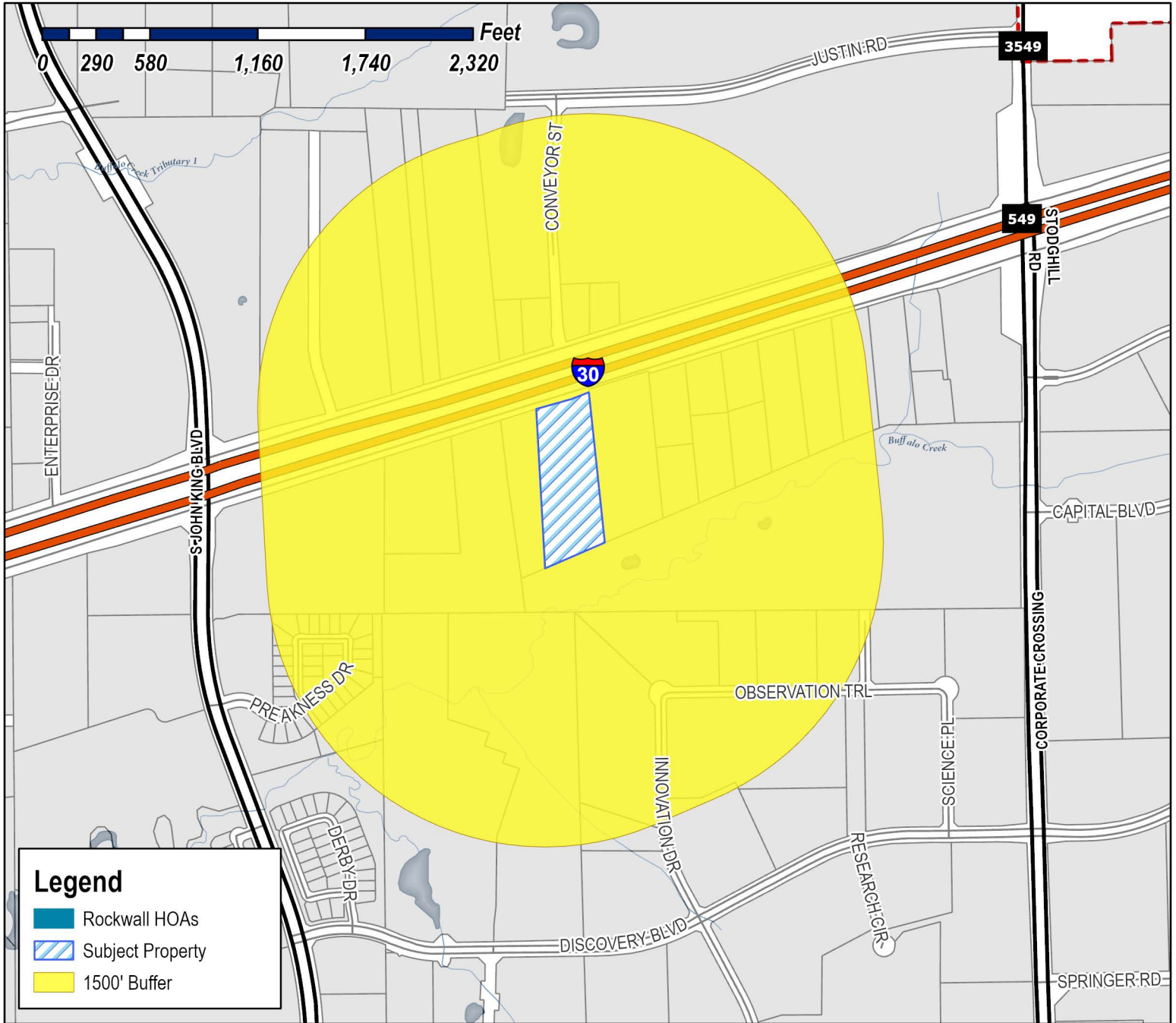




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Legend

- Rockwall HOAs
- Subject Property
- 1500' Buffer

Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024
 For Questions on this Case Call (972) 771-7745

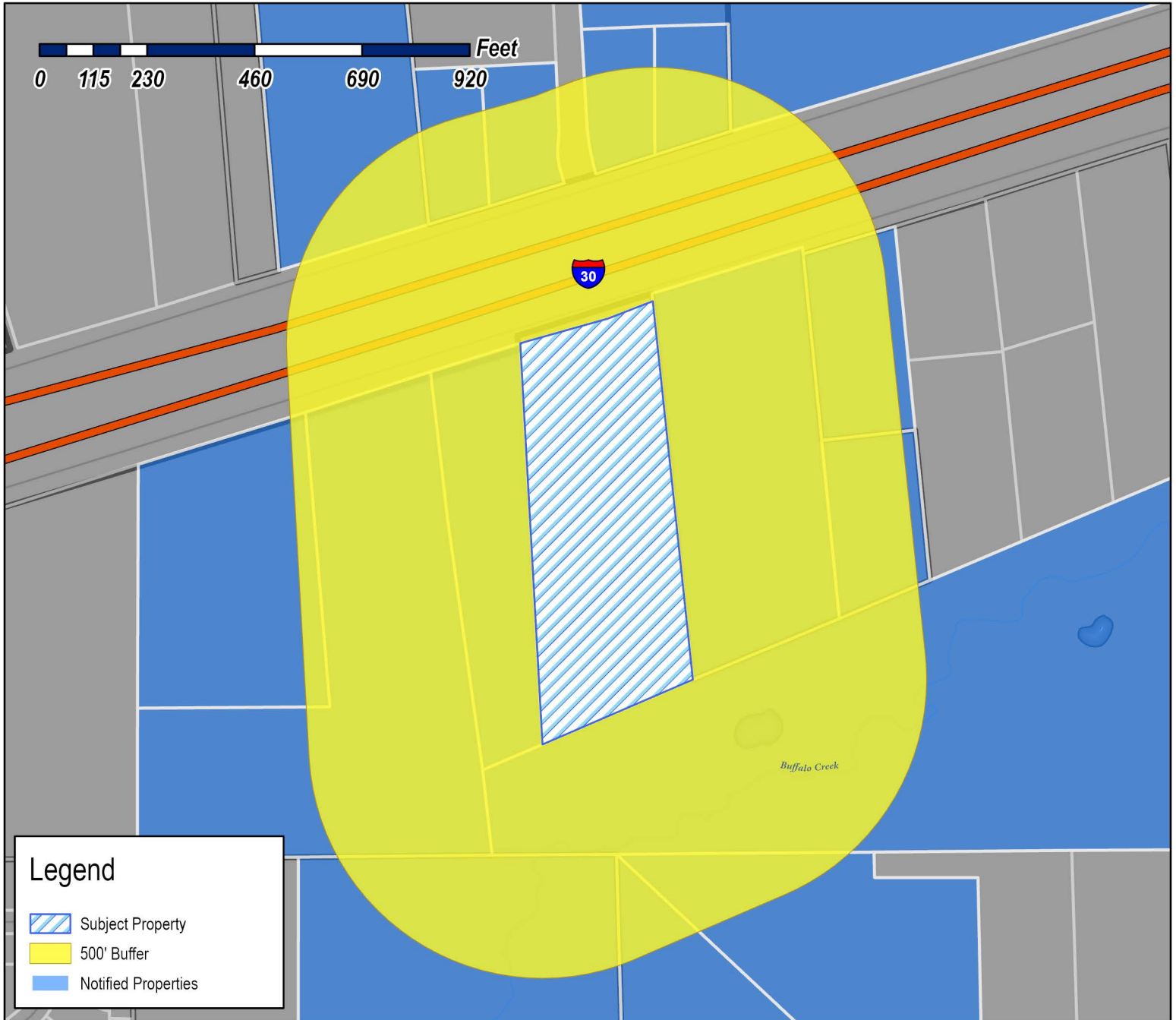
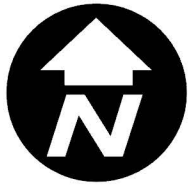




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Case Number: Z2024-010
Case Name: SUP for the Expansion of an Existing Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1790 IH-30

Date Saved: 3/11/2024

For Questions on this Case Call: (972) 771-7746



LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

DEN-MAR ENTERPRISES INC
124 MONT BLANC DR
HEATH, TX 75032

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICCHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75087

RESIDENT
1750 E I30
ROCKWALL, TX 75087

RESIDENT
1760 E I30
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

RESIDENT
1820 E I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

RESIDENT
2350 DISCOVERY BLVD
ROCKWALL, TX 75087

RESIDENT
2610 OBSERVATION TRL
ROCKWALL, TX 75087

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN
PARKER, TX 75002

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

WESTCORE BRAVO ROCKWALL LLC
4350 LA JOLLA VILLAGE DR STE 900
SAN DIEGO, CA 92122

ROCKWALL STORAGE SOLUTIONS LLC
447 STEVENS RD
ROCKWALL, TX 75032

MIDDLE BROOKS HOLDINGS LLC
513 SAINT MARY ST
ROCKWALL, TX 75087

SWBC RW2, LP
5949 SHERRY LN SUITE 750
DALLAS, TX 75225

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

THACKER DENNIS ALAN TESTAMENTARY TRUST
AND
LINDA THACKER LAHOOD AND JOSHUA ALAN
THACKER
PO BOX 8693
GREENVILLE, TX 75404

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Hold a public hearing to discuss and consider a request by Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a New Motor Vehicle Dealership for Cars and Light Trucks to allow the expansion of an existing New Motor Vehicle Dealership on a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall KIA Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-010: SUP for the Expansion of an Existing Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Donna Cullins Pritchard

Address: 1610 Shores Blvd - Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 4, 2024

City of Rockwall
Planning & Zoning Department
Attn: Henry Lee
385 S. Goliad Street
Rockwall, TX 75087

Re: Proposed Southwest Kia Car Dealership Remodel and Expansion
Special Use Permit (SUP) Request
Letter of Explanation
1790 I-30 Frontage Rd
Rockwall, TX 75087

Mr. Lee:

Please use this Letter of Explanation as a formal request to process a Special Use Permit (SUP) for a Proposed Southwest Kia Car Dealership Remodel and Expansion. Lithia Motors, Inc., owners of the existing and operational Southwest Kia Dealership located at 1790 I-30 Frontage Rd, are filing for a SUP to permit the car dealership use and expansion as it is currently a legal non-conforming use.

Introduction:

Southwest Kia of Rockwall embarks on a transformative project aimed at enhancing its facility to better serve customers and align with Kia's latest brand image. The project includes the demolition of the existing showroom and service drive, followed by the construction of a new showroom and service drive facility designed to mitigate flooding risks and improve operational efficiency. Additionally, the project includes repainting the existing building exterior and implementing new interior and exterior finishes to reflect Kia's updated brand aesthetics.

Key Items:

- Demolition of Existing Showroom and Service Drive:
 - The project begins with the demolition of the current showroom and service drive to pave the way for the construction of a modernized facility.



- Construction of New Showroom and Service Drive:
 - The new showroom and service drive facility will be elevated to prevent flooding issues resulting from existing grades, ensuring operational continuity even during adverse weather conditions.
 - Careful consideration will be given to architectural design and structural integrity to meet both aesthetic and functional requirements.
 - Sales functions and operations will continue to operate out of temporary trailers.
 - When completed the facility would have increased in size by approximately 2,050 sf.

- Limited Paving Scope for Storm Water Drainage:
 - The paving scope will be optimized to efficiently surface drain stormwater, reducing the risk of flooding and water damage on the premises.
 - Drainage systems will be strategically integrated to manage stormwater runoff effectively.
 - All existing fire lanes will remain in their existing configuration.

- Repainting Existing Building Exterior:
 - The existing building exterior will undergo repainting to rejuvenate its appearance and align it with Kia's latest brand image.
 - High-quality paint materials resistant to weathering and fading will be selected to ensure long-term visual appeal.

- New Interior and Exterior Finishes:
 - All interior and exterior finishes will be replaced to reflect Kia's updated brand aesthetics, creating a cohesive and inviting atmosphere for customers and staff.
 - Finishes will prioritize durability, ease of maintenance, and visual appeal to uphold the brand's standards and enhance customer experience.



Conclusion:

The Southwest Kia of Rockwall renovation project represents a significant investment in modernizing and improving the dealership facility. Through the demolition of the existing showroom and service drive, construction of a new elevated facility, optimization of stormwater drainage, repainting of the building exterior, and implementation of new interior and exterior finishes, the dealership aims to enhance functionality, aesthetics, and brand alignment. This endeavor underscores Southwest Kia's commitment to providing exceptional service and maintaining a strong brand presence in the City of Rockwall's automotive market.

Sincerely,

Mark Fernandez
Lithia Motors, Inc. c/o Golden Property Development, LLC
909-573-2765
mark@goldenpropertydevelopment.com

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.786.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION

PROJECT NUMBER: LA2204

ISSUE DATE: 02.20.2024

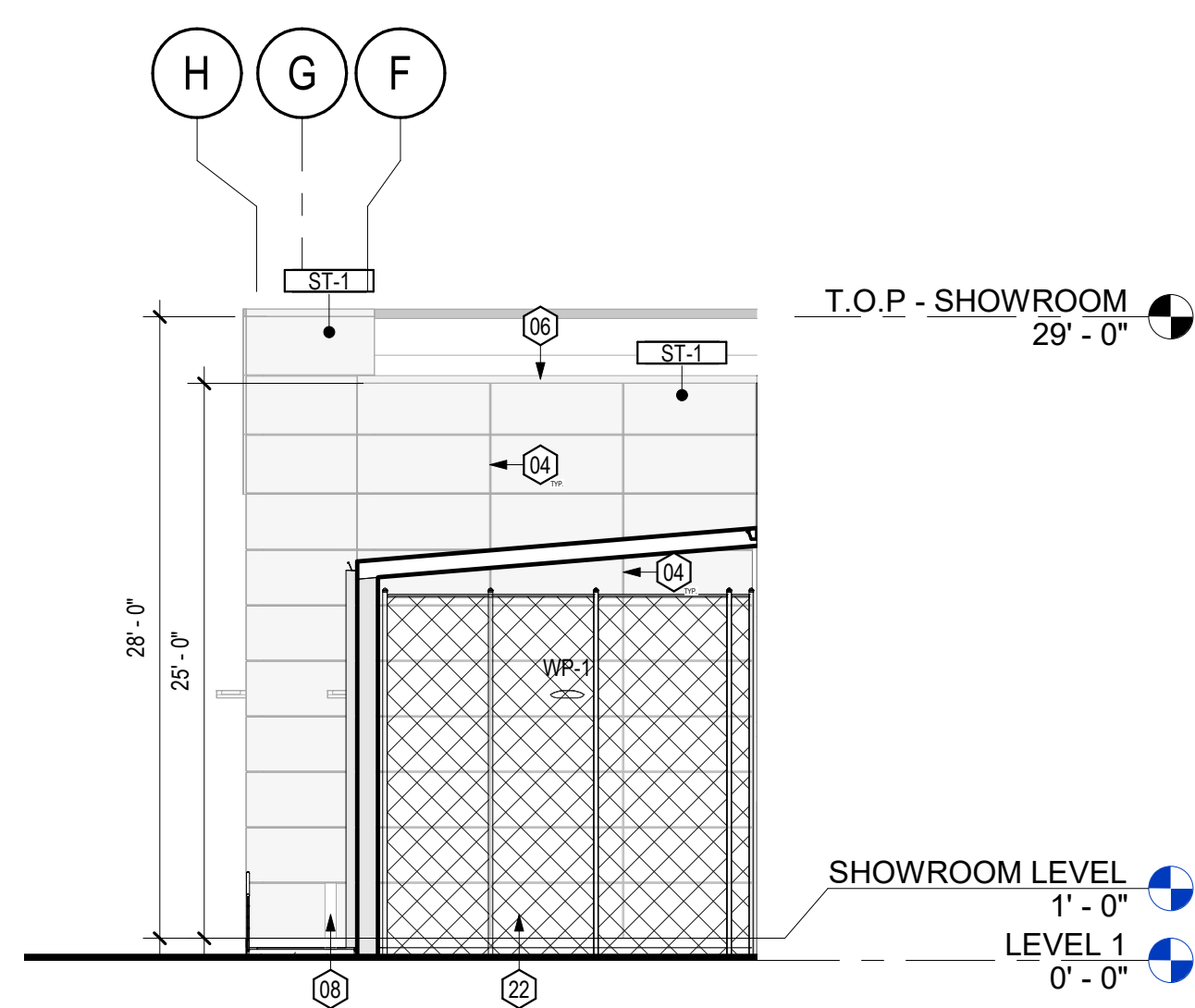
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

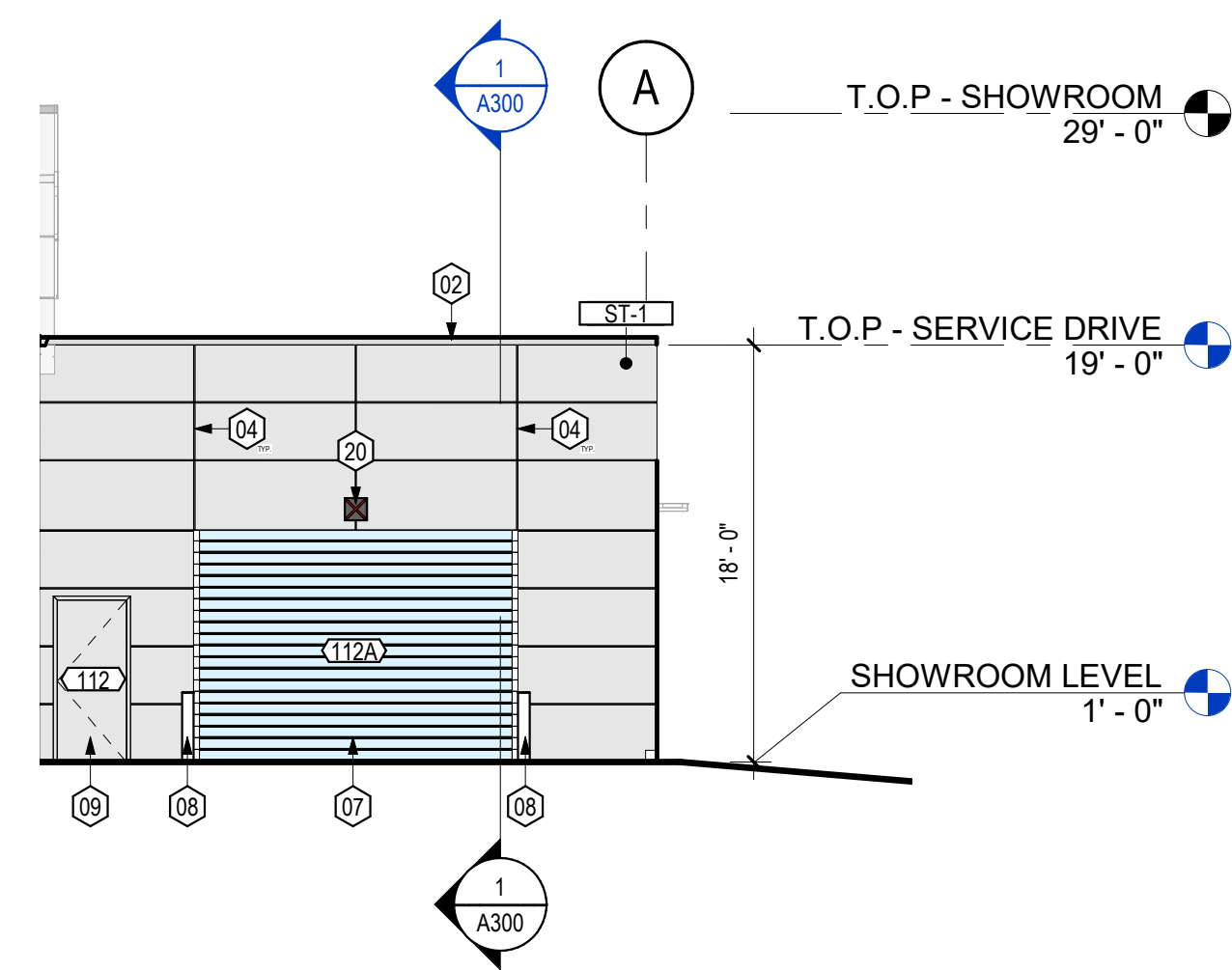
SHEET:

A200

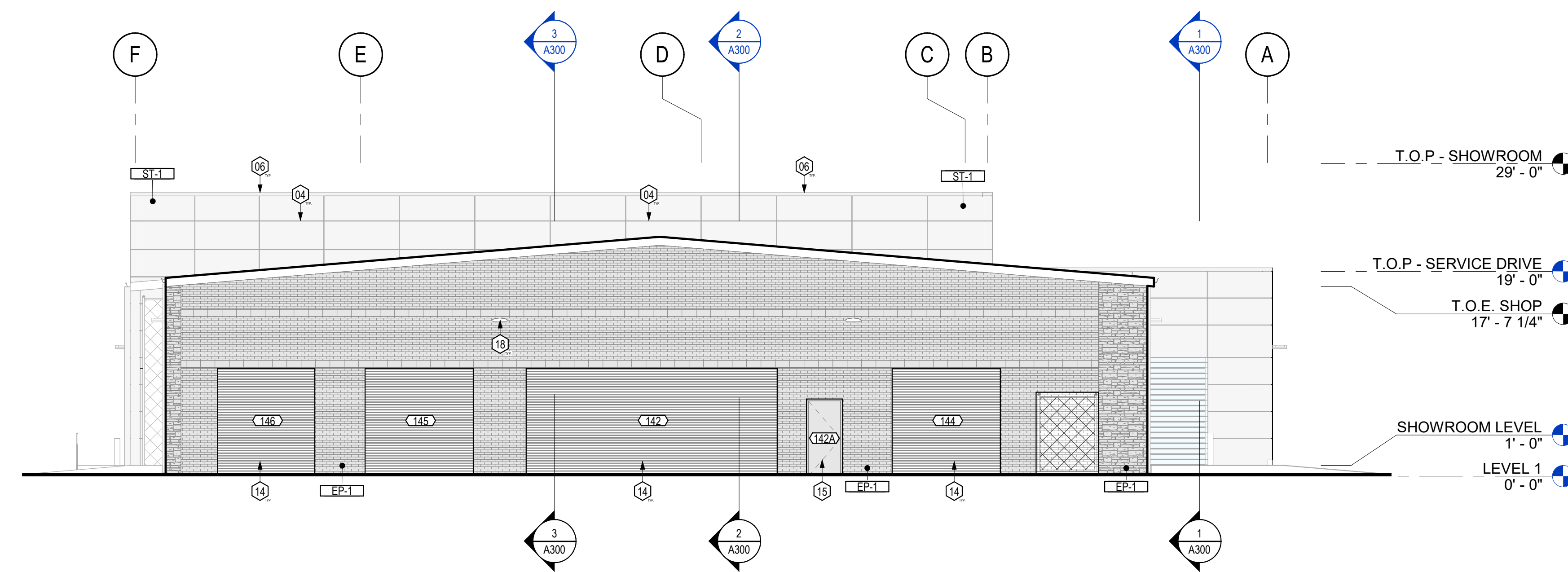
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
08	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
09	MAN DOOR. REF: SCHEDULES
10	PREFINISHED METAL GUTTER AND DOWNSPOUT. COLOR TO MATCH HOST WALL
11	EQUIPMENT SCREEN. REF: SITE DETAILS
12	EXISTING EXTERIOR WALL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION
13	EXISTING MECHANICAL LOUVER TO REMAIN
14	EXISTING OVERHEAD DOOR TO REMAIN. PAINT AS SCHEDULED
15	EXISTING DOOR AND FRAME TO REMAIN. PAINT AS SCHEDULED
16	EXISTING GLAZING TO REMAIN
17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



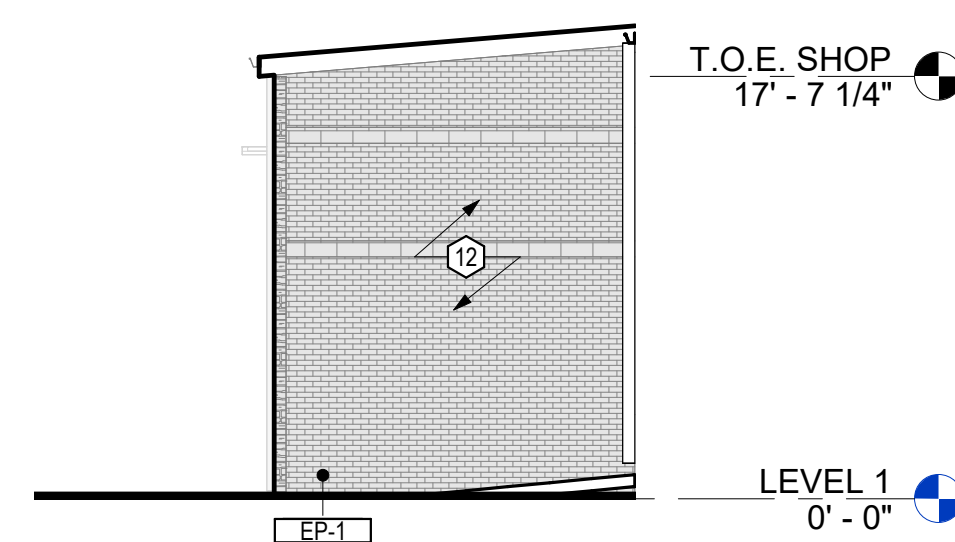
6 EXTERIOR BUILDING ELEVATION @ NVD - SOUTH
1/8" = 1'-0"



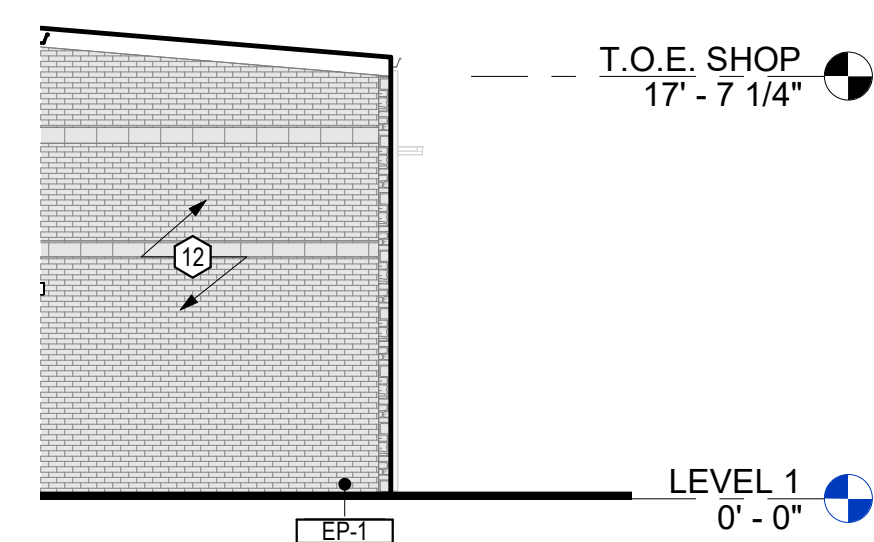
5 EXTERIOR BUILDING ELEVATION @ SERVICE DRIVE - SOUTH
1/8" = 1'-0"



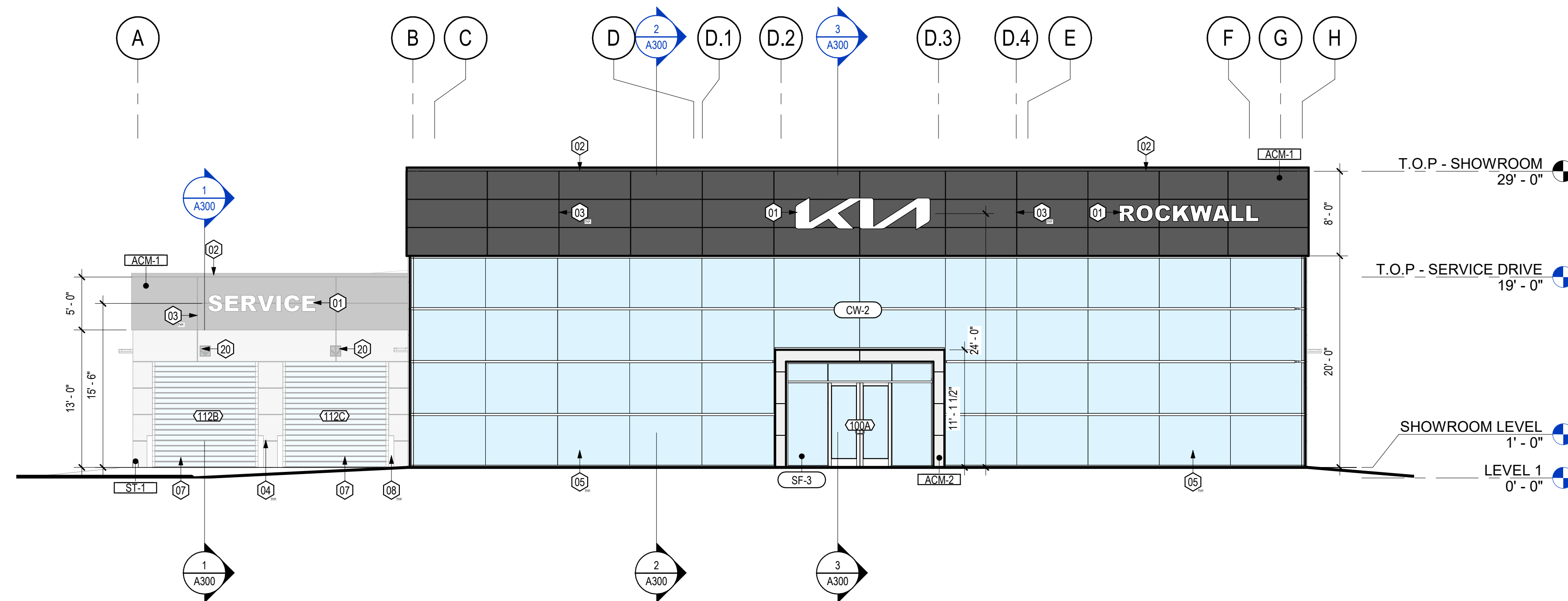
2 EXTERIOR BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



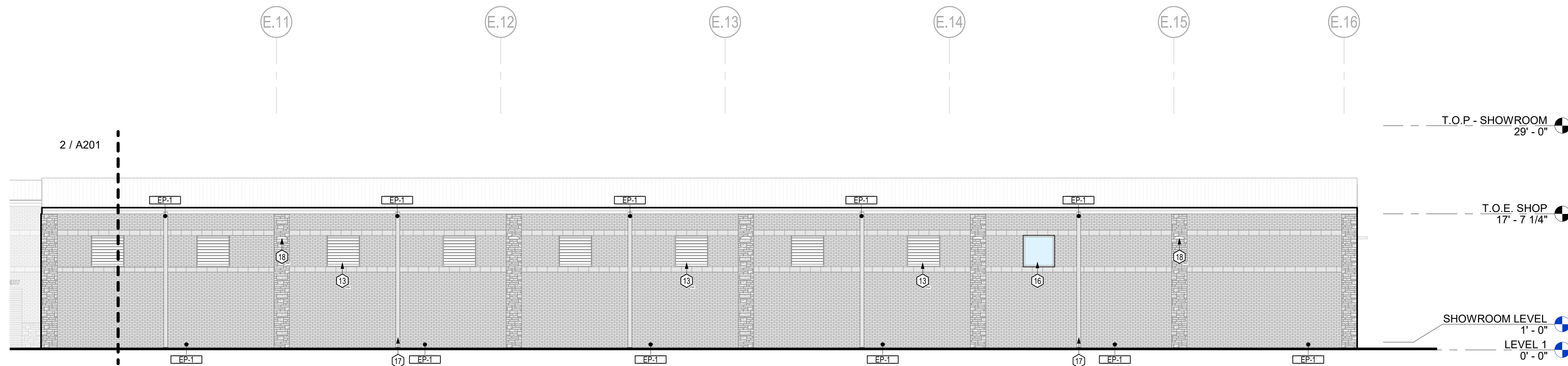
3 EXTERIOR BUILDING ELEVATION @ SERVICE SHOP - NORTH
1/8" = 1'-0"



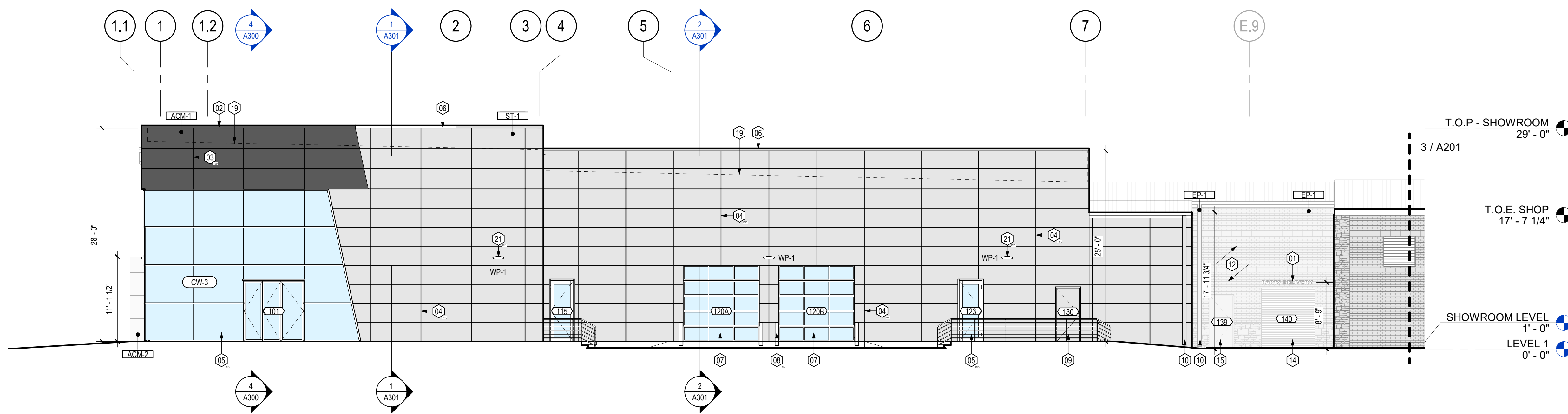
1 EXTERIOR BUILDING ELEVATION - NORTH
1/8" = 1'-0"

DATE	DELTA	DESCRIPTION

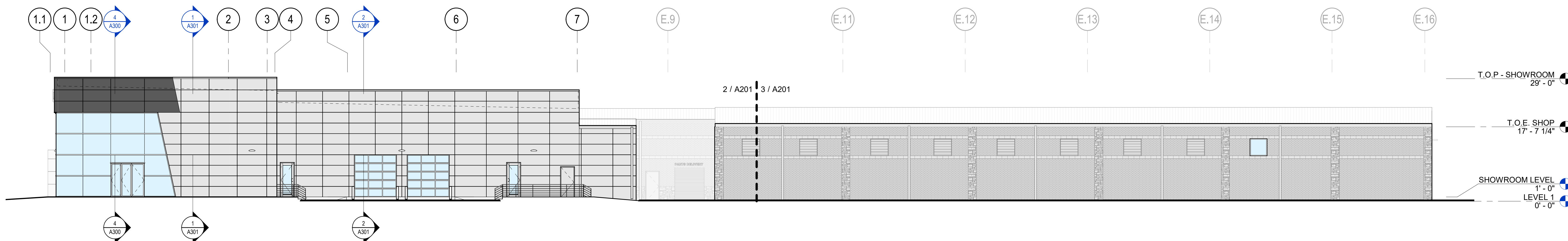
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
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09	MAN DOOR. REF: SCHEDULES
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17	EXISTING PREFINISHED METAL GUTTER AND DOWNSPOUT TO REMAIN. COLOR TO MATCH HOST WALL
18	EXISTING LIGHT FIXTURE TO REMAIN
19	ROOF LINE BEYOND
20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - WEST - AREA B
1/8" = 1'-0"



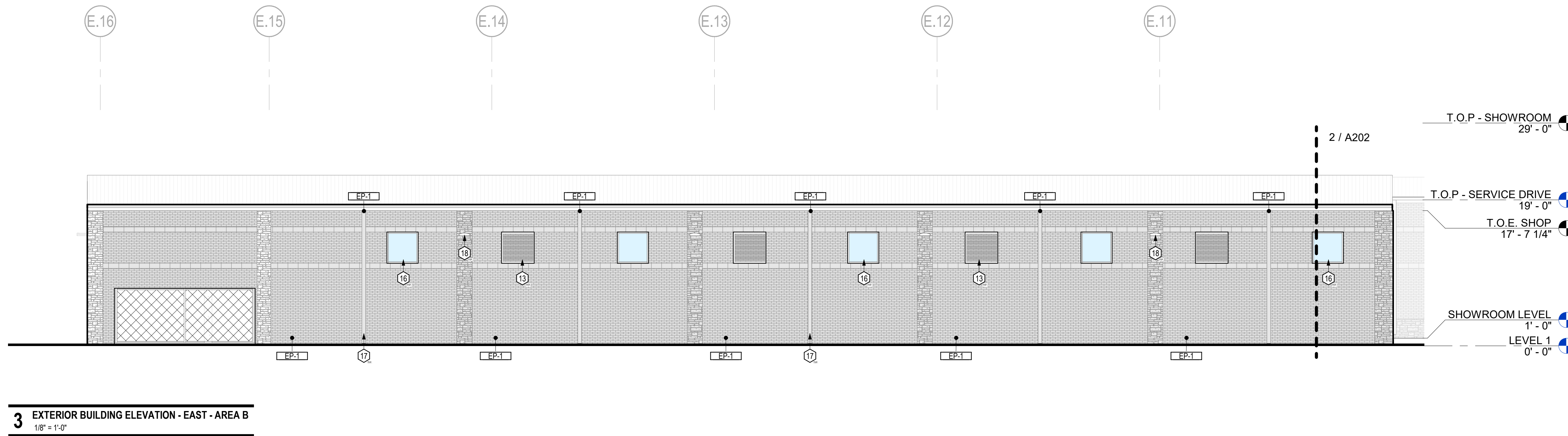
2 EXTERIOR BUILDING ELEVATION - WEST - AREA A
1/8" = 1'-0"



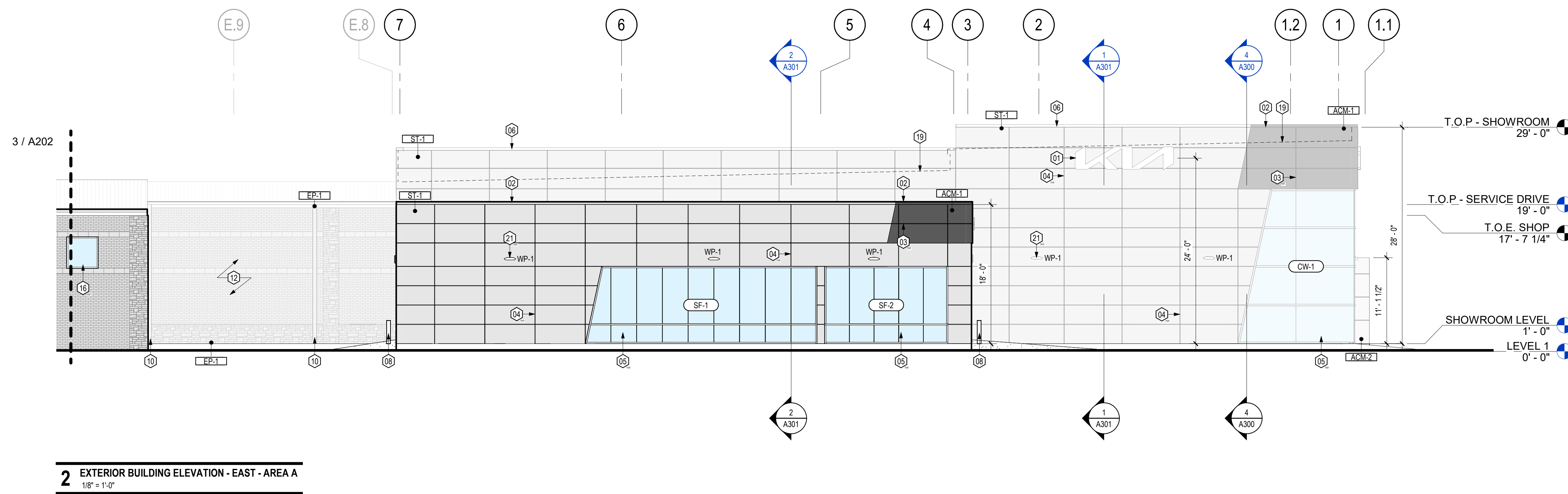
1 EXTERIOR BUILDING ELEVATION - WEST
3/32" = 1'-0"

DATE	DELTA	DESCRIPTION
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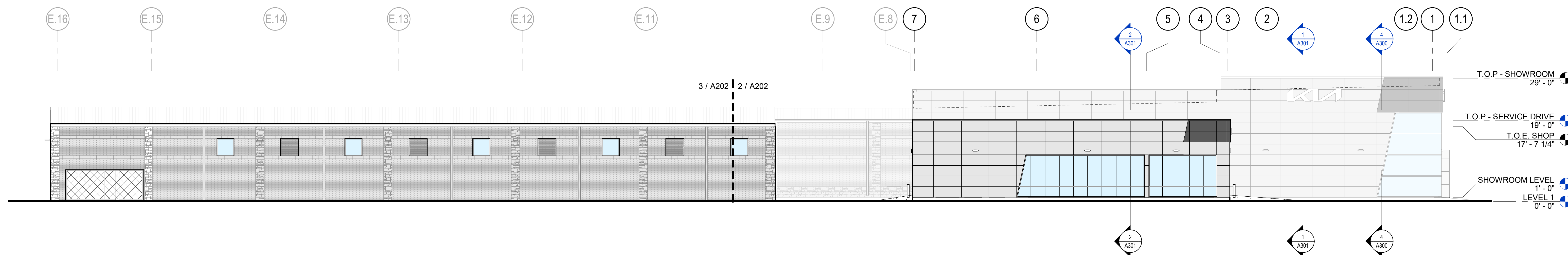
EXTERIOR ELEVATION KEYNOTES	
#	NOTE
01	BUILDING SIGNAGE BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER, AND HOOK UP. REF: ELECTRICAL
02	ACM PARAPET CAP. COLOR TO MATCH HOST WALL
03	ACM REVEAL. REF: WALL DETAILS
04	EIFS REVEAL. REF: WALL DETAILS
05	EXTERIOR GLAZING SYSTEM. REF: GLAZING ELEVATIONS AND SPECIFICATIONS
06	PREFINISHED PARAPET CAP. COLOR TO MATCH HOST WALL
07	OVERHEAD DOOR. REF: SCHEDULES
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09	MAN DOOR. REF: SCHEDULES
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20	DIRECTIONAL SIGNAGE FIXTURE. REF: ELECTRICAL
21	LIGHT FIXTURE. REF: ELECTRICAL
22	CHAINLINK FENCE AND GATE. REF: SITE DETAILS



3 EXTERIOR BUILDING ELEVATION - EAST - AREA B
1/8" = 1'-0"



2 EXTERIOR BUILDING ELEVATION - EAST - AREA A
1/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - EAST
3/32" = 1'-0"

BUILDING USE SQUARE FOOTAGE

SHOWROOM	2,788 SF
SALES OFFICES	3,264 SF
CUSTOMER LOUNGE	1,300 SF
CUSTOMER RESTROOMS	662 SF
BREAKROOM & EMPLOYEE RESTROOMS	622 SF
BUILDING SUPPORT	253 SF
PARTS STORAGE	1,487 SF
SERVICE SHOP	15,344 SF
NEW VEHICLE DELIVERY	573 SF
SERVICE DRIVE	1,995 SF
SERVICE ADVISORS & CASHIER	840 SF
CASHIER AND RETAIL PARTS	1,074 SF

SITE PLAN KEYNOTES

#	NOTE
01	PAVING. REF: CIVIL
02	4" WHITE PARKING STRIPE. TYP. UNO
03	EV CHARGING STATION BY OWNER. G.C. TO COORDINATE WITH OWNER VENDOR, PROVIDE POWER AND HOOK UP. REF: ELECTRICAL
04	EQUIPMENT SCREEN. REF: SITE DETAILS
05	EXISTING PAVING TO REMAIN. REF: CIVIL
06	EXISTING FIRE HYDRANT. REF: CIVIL
07	EXISTING TREE TO REMAIN. REF: LANDSCAPE
08	EXISTING PIPE RAIL FENCE. G.C. TO REPAIR AND REPAINT, EP-1
09	EXISTING LIGHT POLE TO REMAIN
10	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD PRIMED AND PAINTED. REF: SITE DETAILS
11	EXISTING FIRE LANE
12	FIRE LANE - PAVEMENT MARKINGS, 6" WIDE RED PAINT WITH THE WORDS, "FIRE LANE - TOW AWAY ZONE" IN 4" WHITE LETTERS NO MORE THAN 25' ALTERNATING INTERVALS
13	CONCRETE CURB. REF: CIVIL
14	EXISTING PORTION OF CURB TO REMAIN. REF: CIVIL
15	CONCRETE SIDEWALK. REF: SITE DETAILS
16	LANDSCAPING. REF: CIVIL

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
448 W. 19TH ST.
HOUSTON, TEXAS 77008
713.992.4148

STRUCTURAL ENGINEER
DALLY + ASSOCIATES, INC.
9800 RICHMOND AVE., SUITE 460
HOUSTON, TEXAS 77042
713.337.8881

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

PROJECT:
SOUTHWEST KIA OF
ROCKWALL

PROJECT ADDRESS:
1790 I-30 FRONTAGE RD.
ROCKWALL, TX 75087

SEAL/SIGNATURE:

PRELIMINARY
NOT TO BE USED FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION
TBD	IFP	ISSUE FOR PERMIT

PROJECT NUMBER: LA2204

ISSUE DATE: 04.01.2024

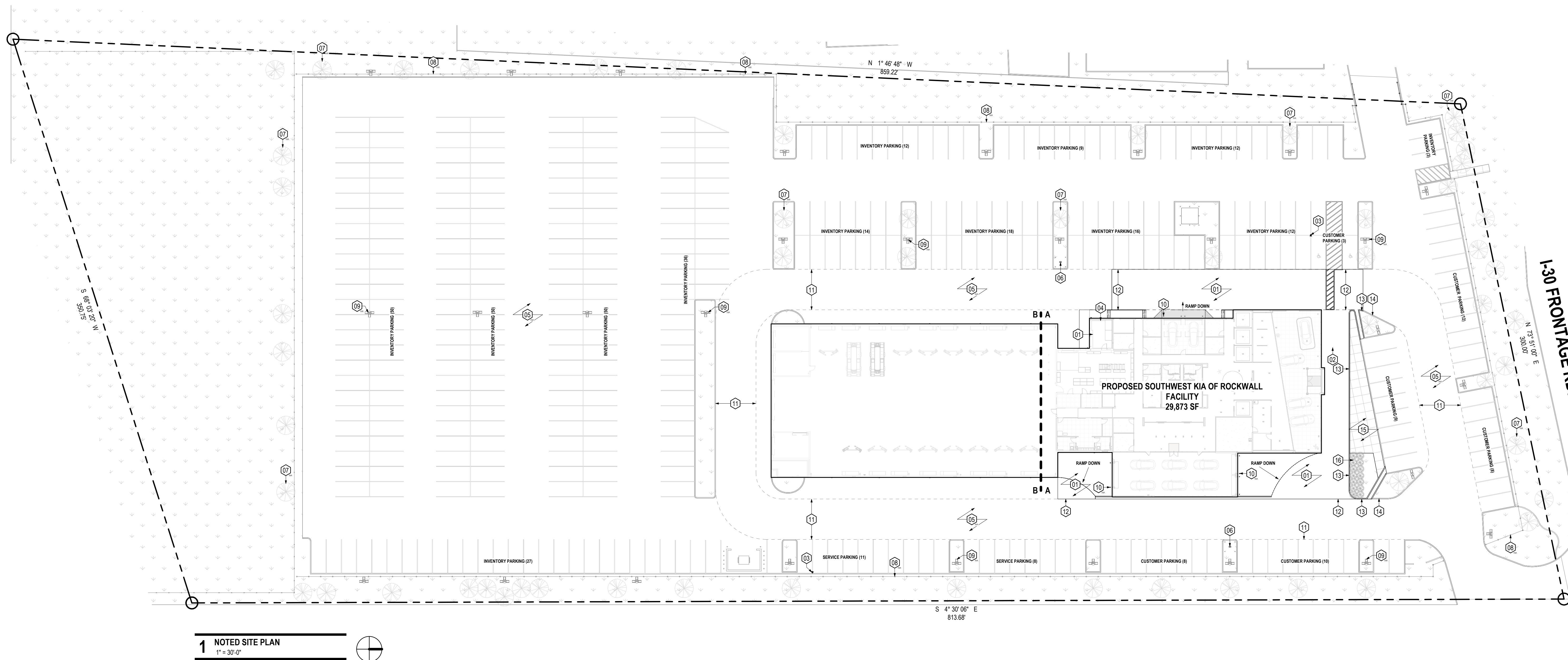
SHEET NAME:

NOTED SITE PLAN

SHEET:

A102

CASE NUMBER: Z2024-010



1 NOTED SITE PLAN
1" = 32' 0"

LEGAL DESCRIPTION

260,988 sq. ft. - 5.9915 AC, Lot 1, Block 1, Rockwall Kia (recorded plat attached)

STATE OF TEXAS
COUNTY OF ROCKWALL

THEREAS SALAHOUN FAMILY, L.P. BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

PROPERTY DESCRIPTION

Being that certain tract of land situated in the John Lockhart Survey, Abstract No. 134, Rockwall County, Texas, being that certain tract of land described in deed to David Zalman (Trustee) as recorded in Volume 4605, Page 60, of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows;

BEGINNING at a found 5/8-inch iron rod on the southeast line of East Bound Service Road of I-30 at the northwest corner of said Zalman tract and being at the northeast corner of that certain tract of land described in deed to T. Devlon Corporation as recorded in Volume 1233, Page 28, said Deed Records;

THENCE North 73 degrees 51 minutes 00 seconds East, a distance of 300.00 feet along the southeast line of said East Bound Service Road of I-30 to a point at the northeast corner of said Zalman tract and being at the northwest corner of that certain tract of land described in deed to Michael L. Peoples, Sr... as recorded in Volume 1192, Page 145, said Deed Records;

THENCE South 04 degrees 30 minutes 06 seconds East, a distance of 813.68 feet along the east line of said Zalman tract to a found iron pipe at the southeast corner of said Zalman tract and being on the north line of that certain tract of land described in deed to Hitt Family Limited Partnership as recorded in Volume 1875, Page 238, of said Deed Records;

THENCE South 68 degrees 03 minutes 20 seconds West, a distance of 350.75 feet to a point at the southwest corner of said Zalman tract and being at the sootiest corner of aforesaid T. Devlon Corporation tract;

THENCE North 01 degree 46 minutes 48 seconds West, a distance of 859.22 feet along the west line of said Zalman tract to the POINT OF BEGINNING and containing 260,988 square feet or 5.992 acres of land.

NOW THEREFORE, KN'W ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the KIA Rockwall subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the KIA Rockwall subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city of secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement; but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city of secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. Owner responsible for maintenance and operation of detention pond.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Owner

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Shahab Salehoun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

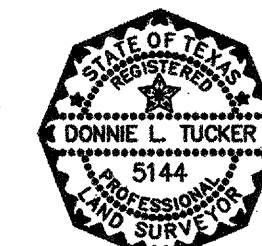
Given upon my hand and seal of office this 21 Day of Feb 2008

Kristi Platt
Notary Public in and for the State of Texas

3-25-2010
My Commission Expires:



LEGEND			
---	PIPE LINE	██████	BRICK
---	GAS LINE	██████	CONCRETE
---	OVERHEAD ELECTRIC LINE	██████	TRAFFIC SIGNAL CONTROL
---	OVERHEAD TELE. LINE	██████	TRAFFIC SIGNAL POLE
---	RAIL SEWER LINE	██████	LIGHT POLE
---	STORM SEWER LINE	██████	UTILITY POLE
---	UNDERGROUND ELECTRIC LINE	██████	ELECTRIC METER
---	UNDERGROUND TELE. LINE	██████	TRANSFORMER
---	WATER LINE	██████	GAS METER
---	CONCRETE	██████	GAS VALVE
---	EDGE OF ASPHALT	██████	GAS LED
---	WOOD FENCE	██████	FIRE HYDRANT
---	WIRE FENCE	██████	WATER METER
---	IRON FENCE	██████	WATER VALVE
---	CHAIRLEAK FENCE	██████	IRRIGATION CONTROL VALVE
---	COLUMNS	██████	
---		██████	



Donnie L. Tucker
R.P.L.S. #5144

OWNER: SALAHOUN FAMILY, L.P.
39638 LBJ FREEWAY
DALLAS, TX. 75232
PHONE: 972-283-8797
FAX: 972-283-5862

DEATH BY:	22
CHECKED BY:	DT
SCALE:	N.T.S.
DATE:	01/26/08
JOB NO.	08-1600
GP NO.	
MAPJOB NO.	

FINAL PLAT -- PAGE 2 OF 2
260,988 SQ. FT. -- 5.9915 AC.
LOT 1, BLOCK 1, ROCKWALL KIA
1790 EAST I-30
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

RECOMMENDED FOR FINAL APPROVAL

CW Bricker 3/25/08
Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 16th day of February, 2008.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 24th day of March, 2008.

William R. Cecil Kristy Ashberry
Mayor, City of Rockwall City Secretary

Chuck Add
City Engineer

SURVEYORS CERTIFICATE

I hereby certify that on the 21st day of November, 2006, this survey was made on the ground as per the field notes shown on this survey and is true, correct, and accurate as to the boundaries and area of the subject property and the size, location, and type of buildings and improvements thereon, if any, and as to the other matters shown hereon, and correctly shows the location of all visible easements and rights-of-way and of all rights-of-way, easements, and any other matters of record, or of which I have knowledge of have been advised, whether or not of record, affecting the subject property, and the location of all curb cuts and driveways, if any.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, (Name) Donnie L. Tucker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

(Name) Donnie L. Tucker, Registered Public Surveyor No. 5144.

DT

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS AND AN ACCESSORY MAJOR AUTO REPAIR GARAGE ON A 5.9613-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, ROCKWALL KIA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBITS 'A' AND 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Mark Fernandez of Lithia C/O Golden Property Development, LLC on behalf of Zohreh Malek for the approval of a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* to allow the expansion of an existing *New Motor Vehicle Dealership* being a 5.9613-acre parcel of land identified as Lot 1, Block 1, Rockwall Kia Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1790 E. IH-30, and being more specifically depicted and described in *Exhibits 'A' and 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* and

accessory *Major Auto Repair Garage* as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* and an accessory *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) No vehicle display areas shall be permitted within the required landscape buffer along the E. IH-30 frontage road.
- (3) Motor vehicle inventory for the existing *New Motor Vehicle Dealership for Cars and Light Trucks* and/or *Major Auto Repair Garage* shall not be parked/stored on an unimproved surface.
- (4) The outside storage of tires or any other automotive parts shall be prohibited.
- (5) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF MAY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Zoning Exhibit

Address: 1790 E. IH-30

Legal Description: Lot 1, Block 1, Rockwall Kia Addition

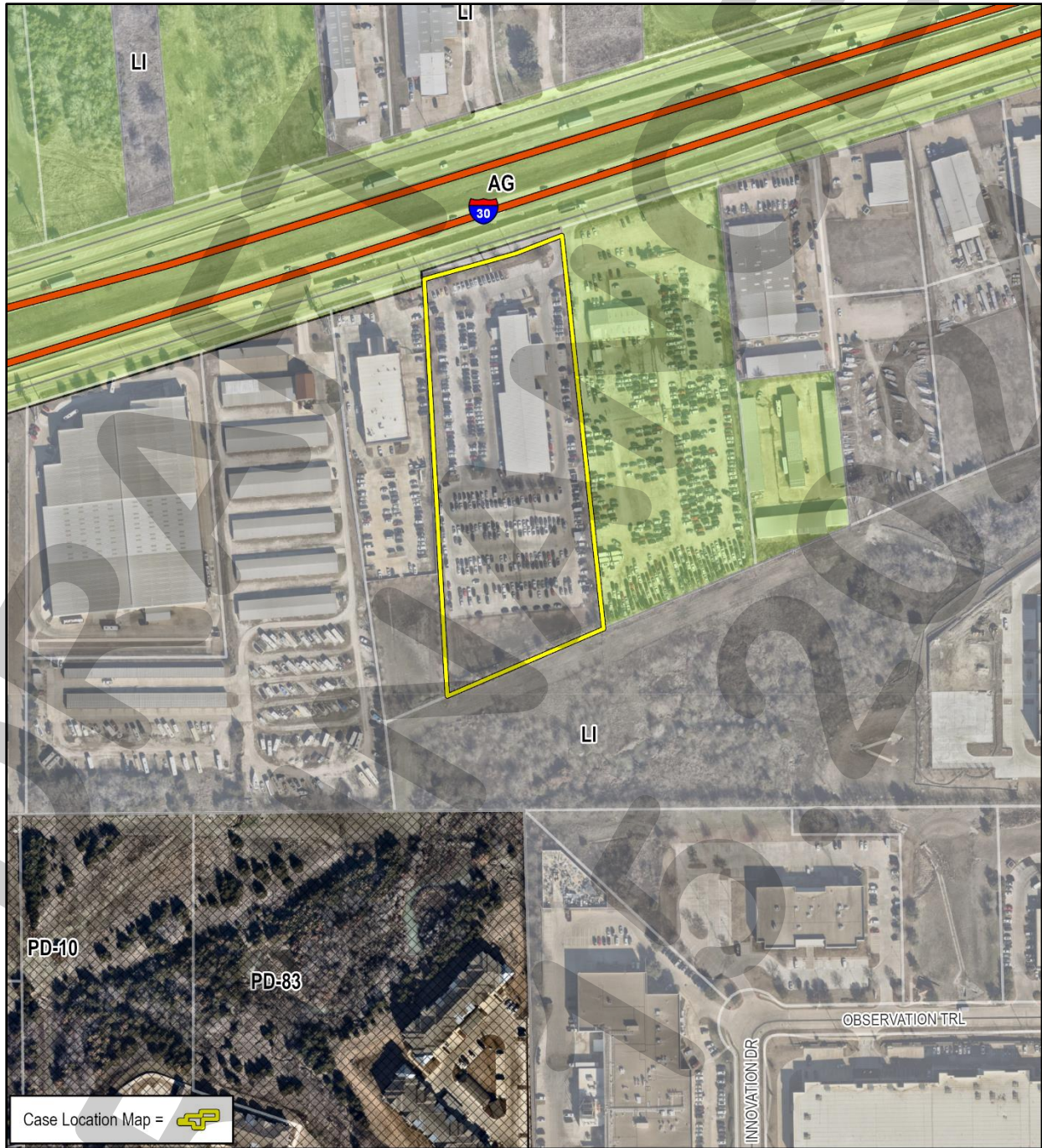
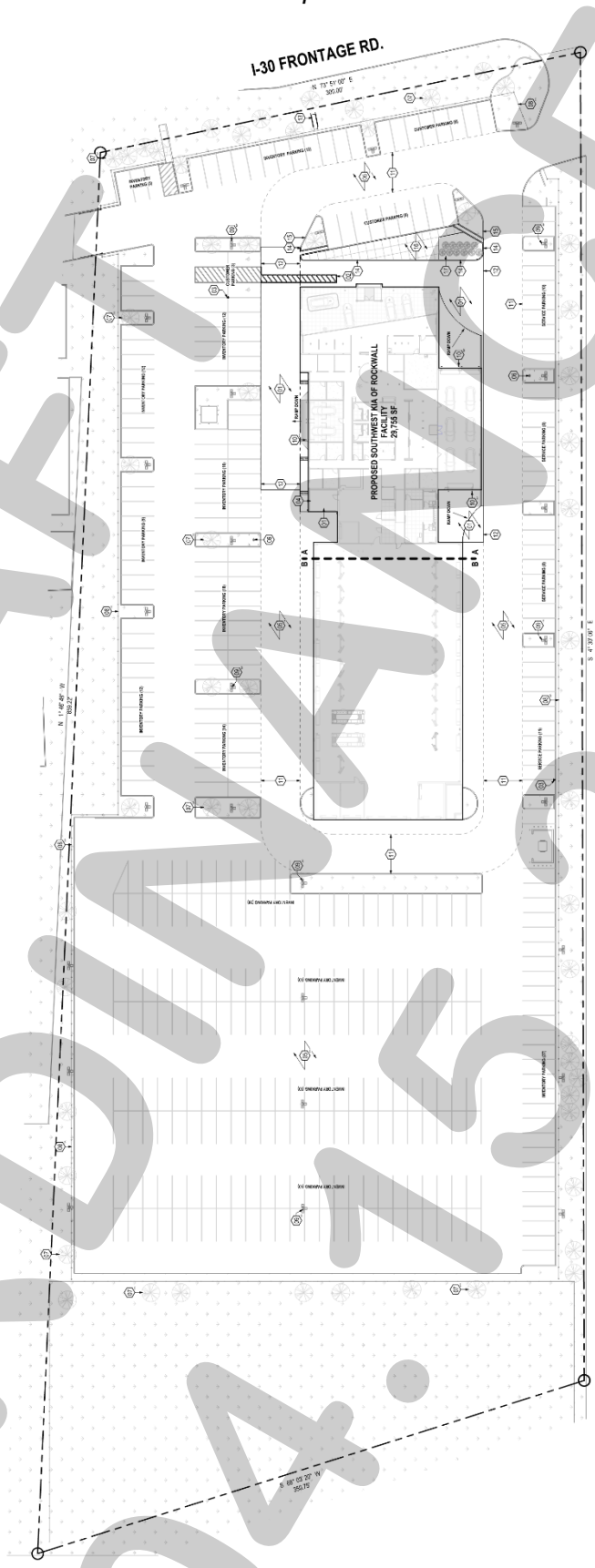


Exhibit 'B':
Concept Plan





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 15, 2024
APPLICANT: Alan Wyatt
CASE NUMBER: Z2024-011; *Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard*

SUMMARY

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in the Scenic Overlay (SOV) District* to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02 (i.e. Case No. A1960-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps* the subject has been zoned Commercial (C) District since January 3, 1972. On July 26, 1984, the subject property was established as Lot 2, Block A, Rockwall Executive Center Addition. According to the Rockwall Central Appraisal District (RCAD), there is a 49,479 SF commercial office building situated on the subject property that was constructed in 1985. The subject property has remained unchanged since this building was established.

PURPOSE

The applicant -- *Alan Wyatt* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in the Scenic Overlay (OV) District* for the purpose of constructing a flag pole on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 510 Turtle Cove Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.187-acre tract of land (*which is part of a larger 2.681-acre tract of land identified as Tract 22 of the E.P.G. Survey, Abstract No. 64*). Beyond this, is a house of worship (*i.e. Great Faith Church*) which sits on a 2.95-acre parcel of land. Both of these properties are zoned Commercial (C) District. North of this is the right-of-way for the Union Pacific/Dallas Garland NE Railroad.

South: Directly south of the subject property is a 1.049-acre parcel of land (*i.e. Lot 1, Block A, Rockwall Executive Center Addition*) zoned Commercial (C) District. Beyond this is Turtle Cove Boulevard, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a vacant parcel of land (*i.e. Lot 5, Block A, MTA Andrews Addition*) zoned Commercial (C) District.

East: Directly east of the subject property is a 2.187-acre tract of land (*which is part of a larger 2.681-acre tract of land identified as Tract 22 of the E.P.G. Survey, Abstract No. 64*). Beyond this is a 0.434-acre parcel of land (*i.e. Lot 1, Ridge Road Office Park*) with several commercial businesses (*i.e. State Farm and Spillman Family Dental*). East of this is Ridge Road, which is identified as an A4D (*i.e. arterial, four (4) lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Turtle Cove Boulevard, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.1994-acre vacant tract of land (*i.e. Lot 5, Block A, MTA Andrews Addition*) that is zoned Commercial (C) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the maximum height for a structure in a Commercial (C) District is 60-feet; however, the City Council may grant a Specific Use Permit (SUP) for a structure up to 240-feet through a Specific Use Permit (SUP). In this case, the subject property is zoned Commercial (C) District and is situated within the Scenic Overlay (SOV) District. According to the *Special Use Standards* in Subsection 06.02 (B), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...development within the Scenic Overlay (SOV) District...shall comply with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of this Unified Development Code (UDC)..."; however, the following land uses may be considered on a *case-by case* basis through a Specific Use Permit: (A) Retail Store with Gasoline Sales (*Any Number of Dispensers or Vehicles*), (B) Car Wash, or (C) Structures Over 36-Feet in Height. In this case, the applicant is requesting a structure (*i.e. flag pole*) with an overall height of 60-feet which will require a Specific Use Permit (SUP). Staff should note that the proposed flag pole shall meet all of the required setbacks stipulated by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

STAFF ANALYSIS

In this case, the proposed flag pole does not appear to negatively impact any of the adjacent properties nor does it appear to create a visibility issue within the Scenic Overlay (SOV) District; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 22, 2024, staff mailed 44 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Turtle Cove and Lakeside Village Homeowner Associations which are the only Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Flag Pole* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of the draft ordinance;
 - (c) The proposed flag pole shall not exceed a maximum overall height of 60-feet as measured from the grade; and,
 - (d) The flag shall be maintained in good condition, free of tears, rips, fraying, or fading.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of

Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	510 Turtle Cove #200		
SUBDIVISION	Rockwall Executive Center	LOT	2
		BLOCK	A
GENERAL LOCATION	510 Turtle Cove Blvd		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Commercial	CURRENT USE	Commercial
PROPOSED ZONING	Commercial	PROPOSED USE	Commercial
ACREAGE	1.158	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	PSB Indemnity Family Ltd Ptrn	<input checked="" type="checkbox"/> APPLICANT	Alan Wyatt
CONTACT PERSON	Alan Wyatt	CONTACT PERSON	Alan Wyatt
ADDRESS	510 Turtle Cove Blvd #200	ADDRESS	510 Turtle Cove Blvd
CITY, STATE & ZIP	Rockwall Texas 75087	CITY, STATE & ZIP	Rockwall Texas 75087
PHONE	972-670-1309	PHONE	972-670-1309
E-MAIL		E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Alan Wyatt [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

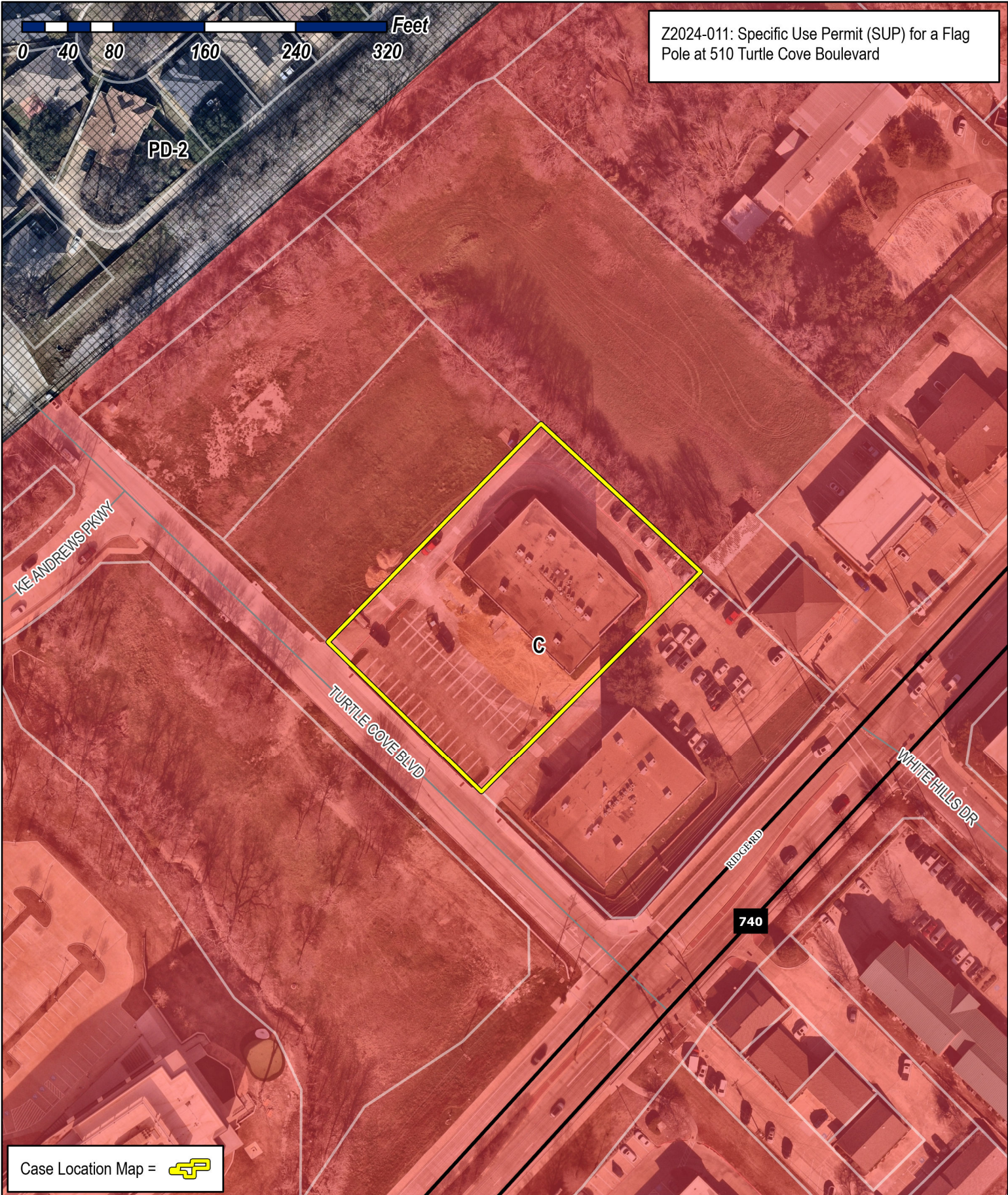
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ March, 2024 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (ITS CITY CLERK) IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2024-011: Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

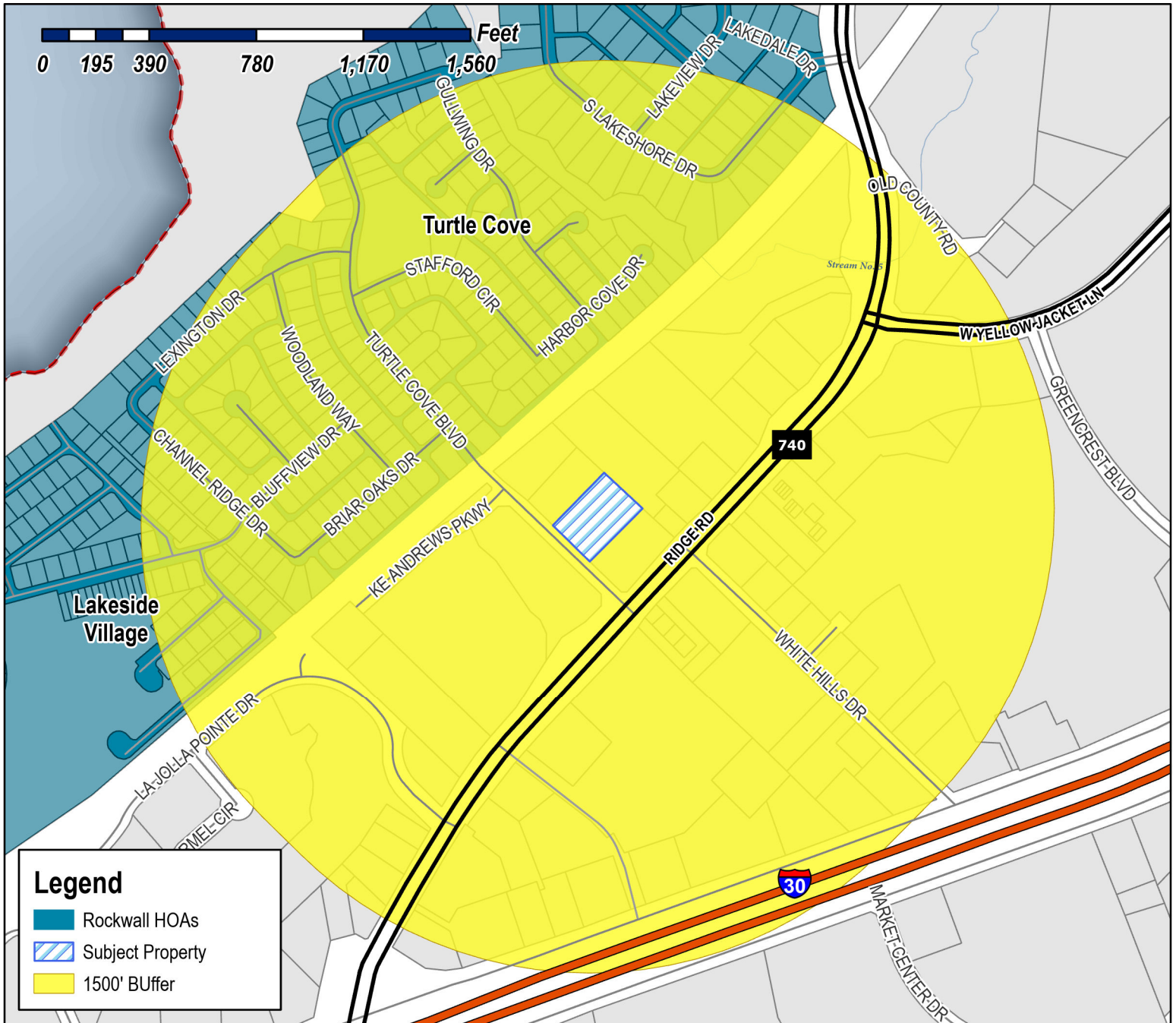




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Case Number: Z2024-011
Case Name: Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 510 Turtle Cove Suite 200

Date Saved: 3/14/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2024-011}
Date: Tuesday, March 19, 2024 10:59:30 AM
Attachments: [Public Notice \(P&Z\) \(03.15.2024\).pdf](#)
[HOA Map \(3.14.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday March 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-011: SUP for a Flagpole

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a [Specific Use Permit \(SUP\)](#) to all a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

Melanie Zavala

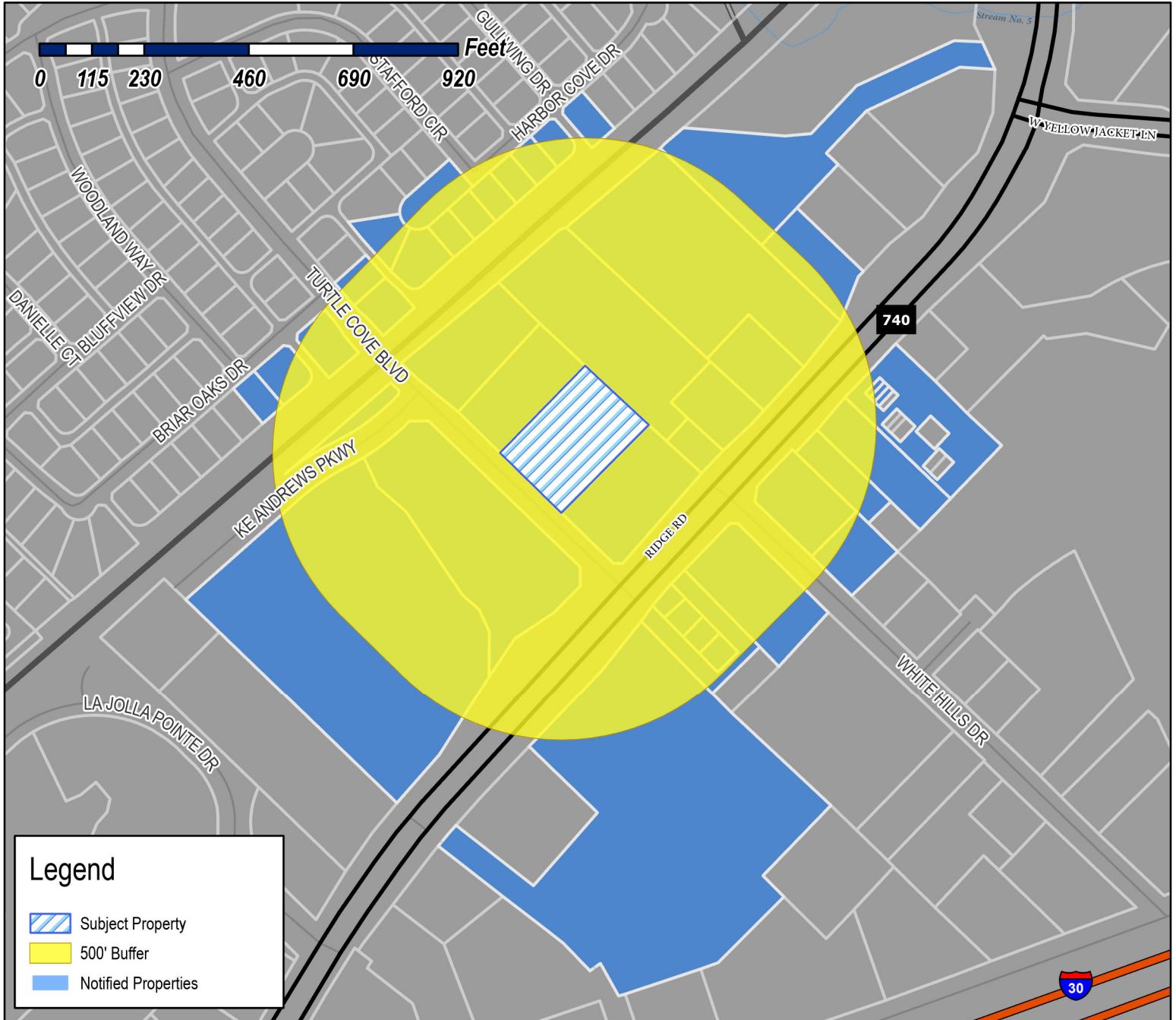
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
(P): (972) 771-7745
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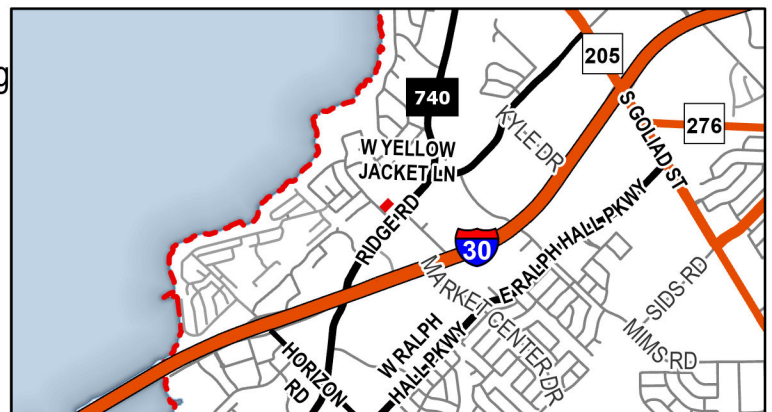
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Case Number: Z2024-011
Case Name: Specific Use Permit (SUP) for a Flag Pole at 510 Turtle Cove Boulevard
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 510 Turtle Cove Suite 200

Date Saved: 3/14/2024

For Questions on this Case Call: (972) 771-7746



TURTLE COVE RESIDENTIAL ASSOC
C/O NEIGHBORHOOD MANAGEMENT
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

7.1 RIDGE LLC
106 E RUSK SUITE 200
ROCKWALL, TX 75087

JARA PARTNERS LTD
1425 HUNTERS GLEN
ROYSE CITY, TX 75189

MOURIER LAND INVESTMENT CORPORATION
1430 BLUE OAKS BLVD STE 190
ROSEVILLE, CA 95747

LAKEWOOD PROPERTIES LLC
1864 MCDONALD RD
ROCKWALL, TX 75032

RESIDENT
2230 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2231 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2245 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2251 RIDGE RD
ROCKWALL, TX 75087

MMF INVESTMENTS LLC
2255 RIDGE RD SUITE 333
ROCKWALL, TX 75087

HUDSPETH FREDERICK WARD ESTATE
NONA MAHAFFY HUDSPETH INDEPENDENT
EXECUTOR
2304 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2305 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2306 RIDGE RD
ROCKWALL, TX 75087

SPILLMAN DENTAL PROPERTIES LLC
2308 RIDGE RD STE B
ROCKWALL, TX 75087

RESIDENT
2310 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
2313 RIDGE RD
ROCKWALL, TX 75087

2424 MTA REALTY LLC
2424 RIDGE ROAD
ROCKWALL, TX 75087

RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

2455 RIDGE LLC
2701 CUSTER PARKWAY SUITE 706
RICHARDSON, TX 75080

2251 RIDGE ROAD LLC
4131 N CENTRAL EXPRESSWAY SUITE 450
DALLAS, TX 75204

RESIDENT
500 TURTLE COVE BLVD
ROCKWALL, TX 75087

PSB INDEMNITY FAMILY LTD PTRN
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

RICE CARINE
545 BEDFORD FALLS
ROCKWALL, TX 75087

PACHECO ENRIQUE AND JOANN T
5788 W SKY HAWK TRL
ROYSE CITY, TX 75189

RESIDENT
600 TURTLE COVE BLVD
ROCKWALL, TX 75087

SEAY KENNETH WAYNE & ELIZABETH CAUFIELD
623 HARBOR COVE DRIVE
ROCKWALL, TX 75087

LITHELAND LORILEE
627 HARBOR COVE DR
ROCKWALL, TX 75087

RESIDENT
629 HARBOR COVE DR
ROCKWALL, TX 75087

ONTIVEROS NADINE MARGARET & ALFREDO
JOSE
631 HARBOR COVE DRIVE
ROCKWALL, TX 75087

BARROW KYLE
633 HARBOR COVE DR
ROCKWALL, TX 75087

JIMMIE AND BARBARA ALFORD REVOCABLE
TRUST
JIMMIE LEE ALFORD AND BARBARA EDWARDS
ALFORD-COTRUSTEES
635 STAFFORD CIR
ROCKWALL, TX 75087

RESIDENT
637 STAFFORD CIR
ROCKWALL, TX 75087

GARRISON KIMBERLY RAE AND JOHN
638 TURTLE COVE BLVD
ROCKWALL, TX 75087

HAYS FAMILY TRUST
JOAN AVOY HAYS - TRUSTEE
639 STAFFORD CIR
ROCKWALL, TX 75087

GOODWIN HEATHER
641 STAFFORD CIR
ROCKWALL, TX 75087

SMITH RICHARD G EBERLE
642 TURTLE COVE BLVD
ROCKWALL, TX 75087

ROCKWALL ALIGNED REI LP
8637 FREDERICKSBURG RD SUITE 360
SAN ANTONIO, TX 78240

GAY-SEVITS MORIAH E
920 BRIAR OAK
ROCKWALL, TX 75087

BISHOP MICHAEL F
926 BRIAR OAK DR
ROCKWALL, TX 75087

HUGHES NICHOLAS AND AMY
930 BRIAR OAKS DR
ROCKWALL, TX 75087

CENTERS FOR PEACE AND MERCY, INC
P.O. BOX 615
ROCKWALL, TX 75087

DAIKER PARTNERS LTD.
PO BOX 1059
ROCKWALL, TX 75087

GLOBAL ADVANCE INC
PO BOX 742077
DALLAS, TX 75374

ALMLAM REAL ESTATE LLC
PO BOX 755
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-011: SUP for a Flagpole

Hold a public hearing to discuss and consider a request by Alan Wyatt on behalf of PSB Indemnity Family, LTD PTRN for the approval of a Specific Use Permit (SUP) to all a structure in excess of 36-feet in the Scenic Overlay (SOV) District to allow the construction of a flag pole on a 1.158-acre parcel of land identified as a Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 510 Turtle Cove Boulevard, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-011: SUP for a Flagpole

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]

Address: [Redacted]

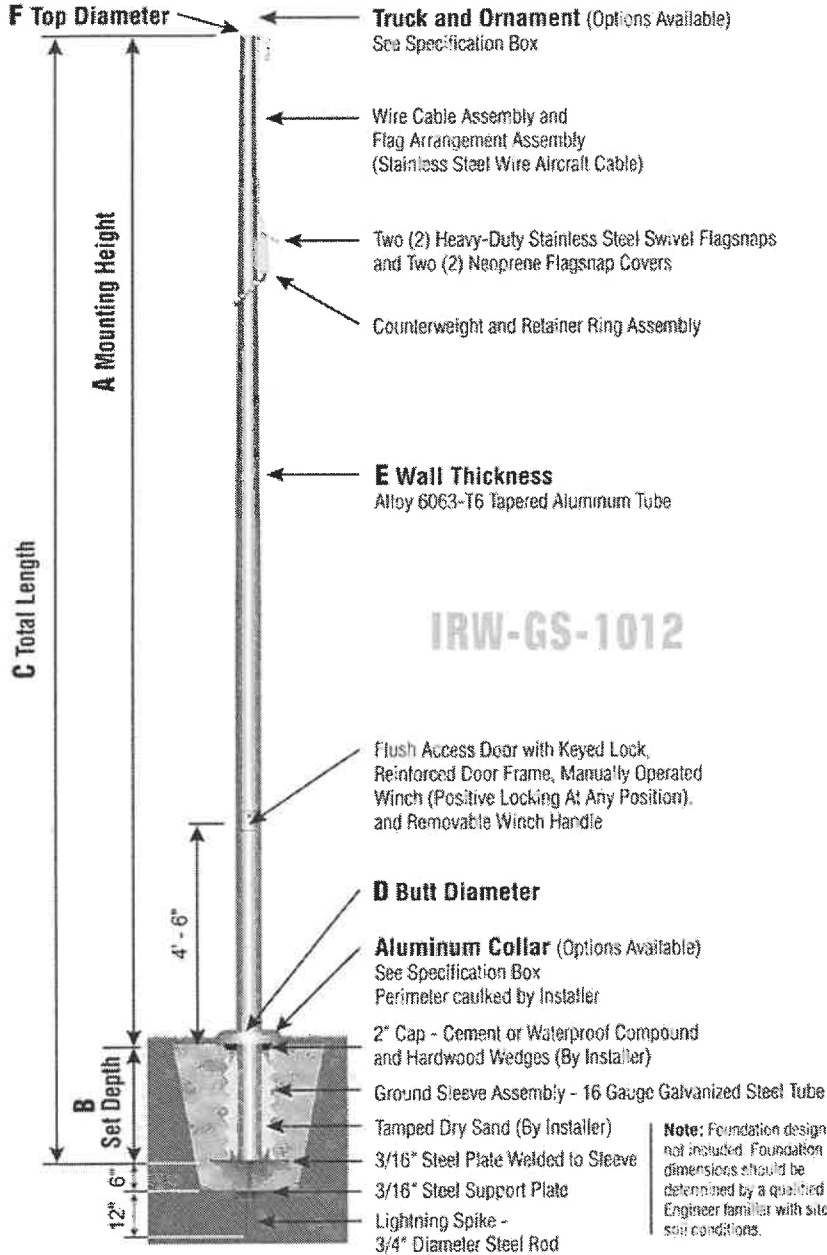
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Independence Series

IRW - Internal with Winch
Wire Halyard
Ground Set Installation



IRW-GS-1012

IRW60D13

- SAT



TRK-9800-58
Int. Revolving Truck
Sealed Bearings



BAL-1058-GLD
HD Gold Anodized
Aluminum Ball



COL1-A10S
FC-11 Spun Alum
1-Piece



SAT
Satin Finish



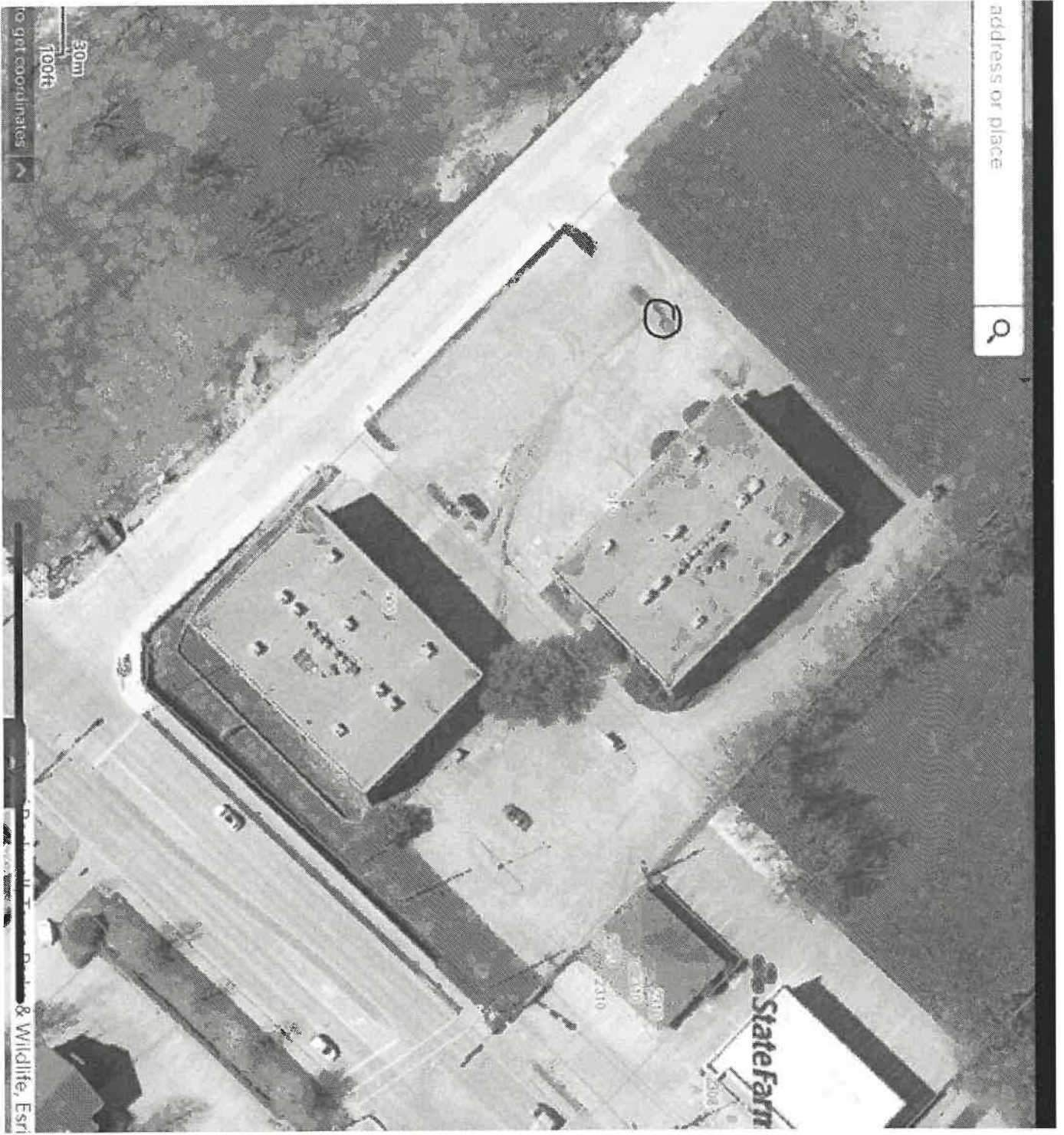
IRW - WINCH
Reinforced Welded
Door Frame

Specifications

A. Mounting Height: 60'
B. Set Depth: 6'-0"
C. Total Length: 66'-0"
D. Butt Diameter: 10"
E. Wall Thickness: .188"
F. Top Diameter: 4"
Flagpole Sections: 3
Shaft Weight: 501 lbs.
Hardware Weight: 52 lbs.
Ground Sleeve Weight: 90 lbs.
* Max Flag Size: 12' x 18'
* Max Wind Speed w/Nylon Flag: 86 mph
* Max Wind Speed No Flag: 118 mph
* Wind Speed Specifications from ANSI/NAAMM FP 1001-07

Customer Name: Texas Specialty	
Dealer: Epic Eagle	Qty: 1
Project: 60' Rockwall Turtle Cove	Location: Rockwall
Notes:	

IRW60D13G-TAZ-O0F-C2C-FSA



↑ North

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *STRUCTURE IN EXCESS OF 36-FEET IN HEIGHT IN THE SCENIC OVERLAY (SOV) DISTRICT* TO ALLOW THE CONSTRUCTION OF A FLAG POLE ON A 1.158-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, ROCKWALL EXECUTIVE CENTER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alan Wyatt for the approval of a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District* to allow the construction of a flag pole on a 1.158-acre parcel of land being described as Lot 2, Block A, Rockwall Executive Center Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 510 Turtle Cove Boulevard, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow a *structure in excess of 36-feet in height in the Scenic Overlay (SOV) District* to allow the construction of a flag pole in accordance with Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Subsection 03.04, *Flag Poles*, of Article 04, *Permissible Uses*, and Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction and continued operation of a flag pole on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of a flag pole on the *Subject Property* shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a flag pole on the *Subject Property* shall generally conform to the Flag Pole Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) The proposed flag pole shall not exceed a maximum overall height of 60-feet as measured from grade.
- 4) The flag shall be maintained in good condition free of tears, rips, fraying, or fading.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF MAY, 2024.**

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Location Map and Survey

Address: 510 Turtle Cove Boulevard

Legal Description: Lot 2, Block A, Rockwall Executive Center Addition

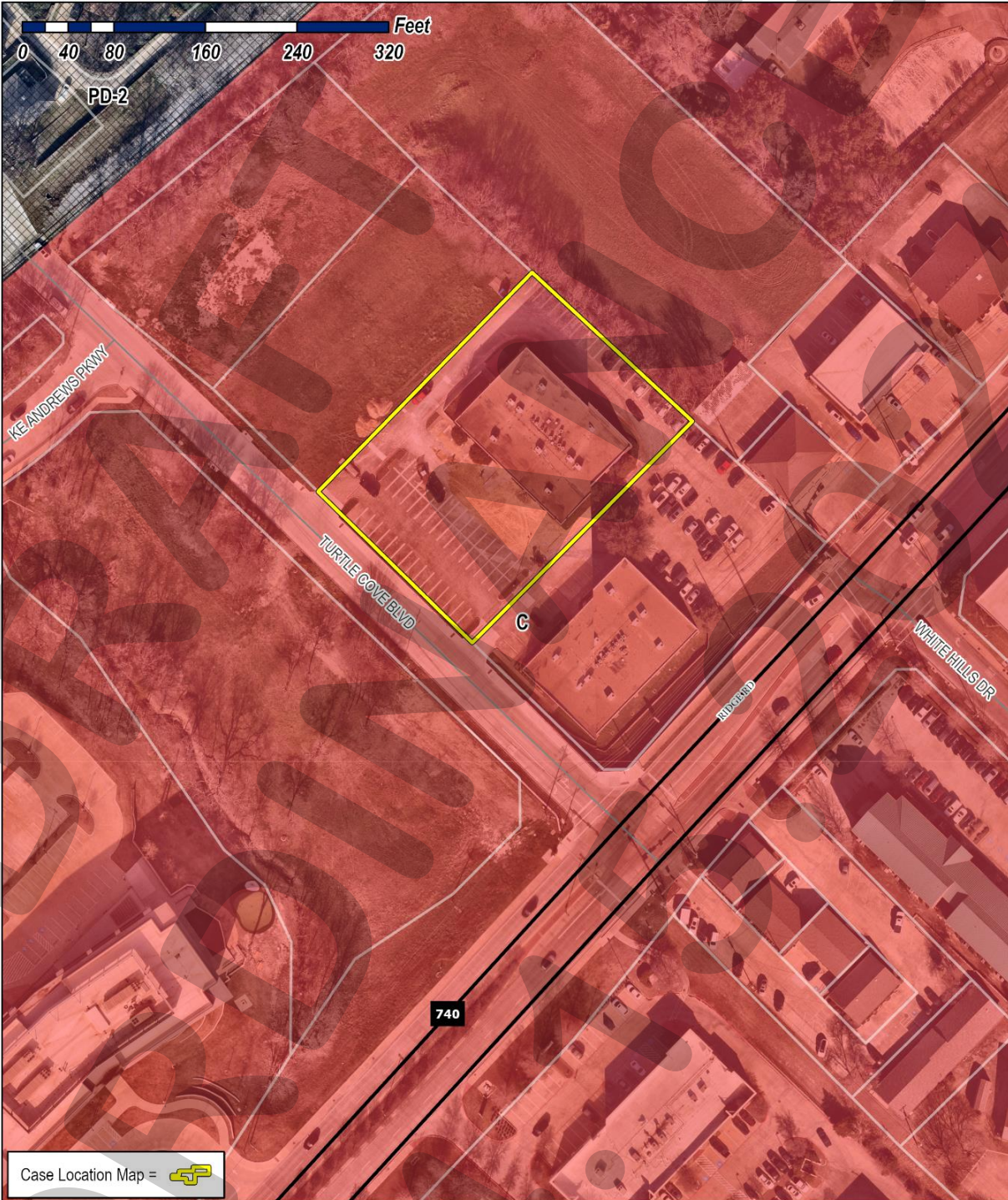


Exhibit 'B':
Concept Plan

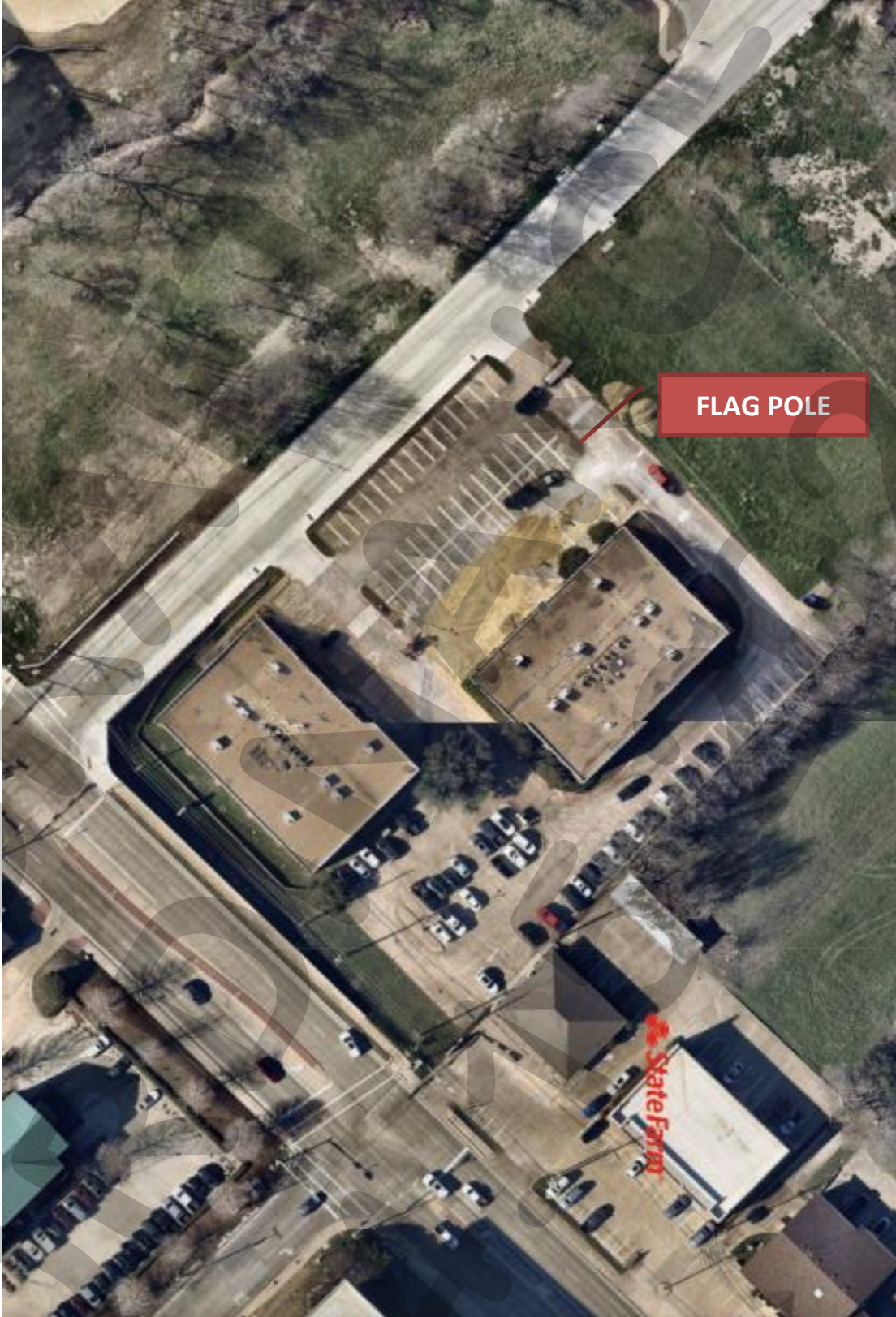
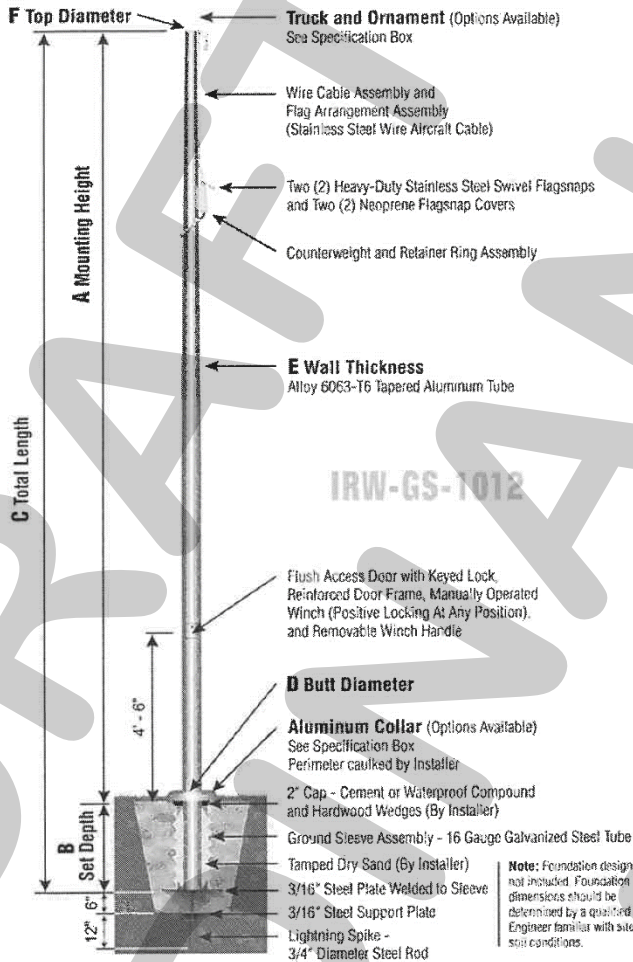


Exhibit 'C':
Flag Pole Elevations



Independence Series
IRW - Internal with Winch
Wire Halyard
Ground Set Installation



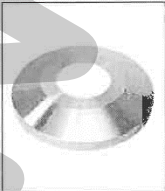
IRW60D13 - SAT



TRK-9800-58
Int. Revolving Truck
Sealed Bearings



BAL-1058-GLD
HD Gold Anodized
Aluminum Ball



COL1-A10S
FC-11 Spun Alum
1-Piece



SAT
Satin Finish



IRW - WINCH
Reinforced Welded
Door Frame

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Customer Name: Texas Specialty	
Dealer: Epic Eagle	Qty: 1
Project: 60' Rockwall Turtle Cove	Location: Rockwall
Notes:	

IRW60D13G-TAZ-O0F-C2C-FSA

CAFP_010819_1pg

- 1 -



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 15, 2024
APPLICANT: Preston Harris; *Harris Family Lake House, LLC*
CASE NUMBER: Z2024-012; *Specific Use Permit (SUP) for Pickleball Courts at 1722 Ridge Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a *Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts)* on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances the subject property was annexed on September 5, 1960 by *Ordinance No. 60-02 [Case No. A1960-002]*. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 2,417 SF single-family home built in 1962, and a 1,682 SF *Guest Quarters/Secondary Living Unit* built in 1992. According to the City's *Historic Zoning Maps*, the subject property was zoned Single Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. This zoning designation has not changed since it was established. On September 9, 1985, the City Council approved a final plat [*Case No. PZ1985-024-01*] that establish the subject property as Lot 4, Block C, The Estates of Coast Royale #1 Addition.

PURPOSE

The applicant -- *Preston Harris of Harris Family Lake House, LLC* -- is requesting the approval of a Specific Use Permit (SUP) to allow an unpermitted *Pickleball Court* to remain on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1722 Ridge Road. The land uses adjacent to the subject property are as follows:

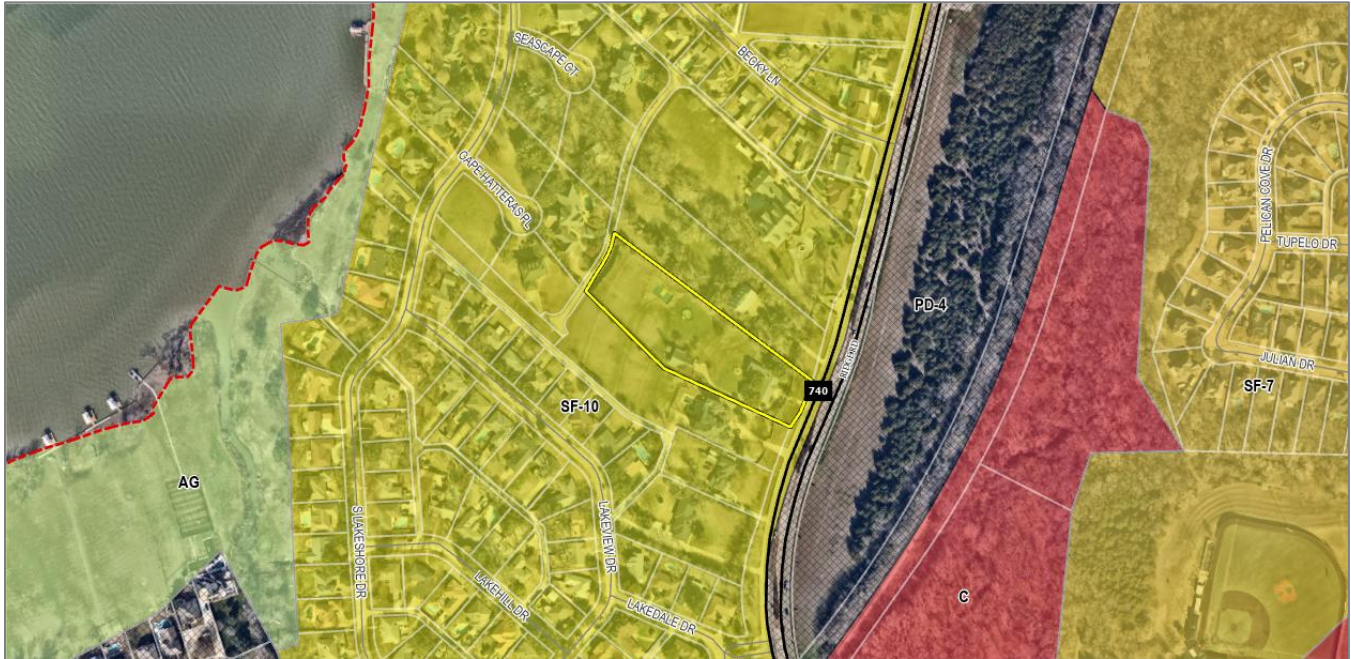
North: Directly north of the subject property are two (2) estate style parcels of land (*i.e. Lots 3 & 6, Block C, The Estates of Coast Royale #1 Addition*) developed with single-family homes. Beyond this is the Lake Ray Hubbard Estates Subdivision, which was established December 10, 1973 and consists of 65 single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is a 2.1029-acre parcel of land (*i.e. Lot 5, Block C, The Estates of Coast Royale #1 Addition*) developed with a single-family home. Beyond this are two (2) tracts of land (*i.e. Tracts 4 & 12 of the D. Atkins Survey, Abstract No. 1*) developed with single-family homes. Following this is the Lakeridge Park Subdivision, which was established September 29, 1972 and consists of 87 single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District.

East: Directly east of the subject property is Ridge Road, which is classified as an A4D (*i.e. arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 12.1148-acre tract of land (*i.e. Tract 2 of the D. Atkins Survey, Abstract No. 1*), zoned Planned Development District 4 (PD-4) for limited General Retail (GR) District land uses.

West: Directly west of the subject property is a 0.6370-acre parcel of land (i.e. Lot 7, Block B, The Estates of Coast Royale #2 Addition) developed with a single-family home. Beyond this is a vacant 0.24-acre tract of land (i.e. Tract 5 of the D. Atkins Survey, Abstract No. 1). Following this is the Lakeridge Park Subdivision, which was established September 29, 1972 and consists of 87 single-family homes. All of these properties are zoned Single-Family 10 (SF-10) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, and pictures showing the existing sports court. The existing sports court is 28-foot by 44-foot or 1,232 SF. It incorporates a *Tennis Court (Pickleball Court)* with a net, basketball hoop, and one (1) light pole with two (2) light fixtures. It is located in the backyard of the subject property. Staff should note that the backyard of the subject property is surrounded by an eight (8) foot privacy fence along the western and southern property line, and has a thick row of trees along the northern property line. Given that the *Tennis Court (Pickleball Court)* was constructed without a Specific Use Permit (SUP) and without a Building Permit, the applicant was required to pay the non-compliant structure fee of \$1,000.00.



FIGURE 1: EXISTING SPORTS COURT

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Tennis Court (Pickleball Court)* as “(a) surface designed and constructed for playing the game of tennis along with all fencing, nets and related appurtenances but excluding lighting for night play in residential areas except as may be otherwise permitted.” According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Tennis Court (Pickleball Court)* requires a Specific Use Permit (SUP) in a Single-Family 10 (SF-10) District.

According to Section 10-491, *Exterior Grounds*, Article XII, *Property Maintenance Code*, of the Municipal Code of Ordinances, “(e)xterior lights placed or erected on private property shall be directed down and shall be of an indirect, diffused, or shielded type luminaries and so installed as not to produce harsh, bright light or direct illumination across the property line from a

visible source of illumination so as not to create a traffic hazard or a public nuisance.” In this case, there is one (1) light pole with two (2) light fixtures that are unshielded and not directed downward.

STAFF ANALYSIS

In this case, the applicant has stated that the unpermitted *Private Tennis Court (Pickleball Court)* is primarily intended to be used as a basketball court; however, since this structure will incorporate a pickleball court and lighting, the SUP for a *Private Tennis Court* is required. Additionally, the SUP for a *Private Tennis Court (Pickleball Court)* allows for operational conditions including lighting standards. Staff has provided an operational condition that requires the exterior light fixtures to be directed down and incorporate a shielded type of luminaire. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the full context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

When reviewing the location of the *Private Tennis Court (Pickleball Court)*, it is ~142-feet (*North*), ~200-feet (*West*), and ~270-feet (*South*) from the single-family homes on the adjacent properties; however, the properties west of the subject property are located at least 20-feet lower and may be affected by the lighting. With this being said, the *Private Tennis Court (Pickleball Court)* -- *excluding the lighting* -- does not appear to have a negative effect on the adjacent properties. The Planning and Zoning Commission and City Council should consider not only the *Private Tennis Court (Pickleball Court)*, but other aspects of the request (*e.g. nuisances like noise and lighting*). In this case, pickleball can be a loud sport, and -- *with the addition of lighting* -- light levels can spill over to adjacent properties creating a potential nuisance. Staff should point out that the lighting does appear to be directed to the existing tree line along the northern side of the subject property, and may not create an issue for adjacent properties; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On March 19, 2024, staff mailed 62 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone and Turtle Cove Homeowner’s Associations (HOAs), which were the only Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from a property owner *within* the 500-foot notification area indicating they were in opposition of the applicant’s request.

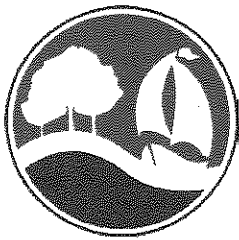
CONDITIONS OF APPROVAL

If the City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Private Tennis Court (Pickleball Court)*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The Private Tennis Court (*Pickleball Court*) shall maintain conformance to *Exhibits 'A' and 'B'* of this ordinance.
 - (b) All exterior lights placed or erected on the Private Tennis Court (*Pickleball Court*) shall be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
 - (c) The applicant shall have 90-days to obtain a building permit for the Private Tennis Court (*Pickleball Court*).
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1722 Ridge Rd Rockwall, TX

SUBDIVISION Estates of Coast Royale #1

LOT 4

BLOCK C

GENERAL LOCATION Ridge and Yellow Jacket

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Harris Family Lake House LLC

APPLICANT

CONTACT PERSON Preston Harris

CONTACT PERSON

ADDRESS 1722 Ridge Rd

ADDRESS

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP

PHONE 214.384.4525

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 237.83 _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____

OWNER'S SIGNATURE

SEE ATTACHMENT

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego)

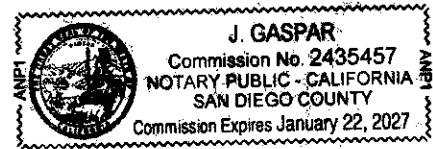
On 3/14/24 before me, J. Gaspar , Notary Public
(insert name and title of the officer)

personally appeared Preston C. Harris
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature J. Gaspar (Seal)



0 45 90 180 270 360 Feet

Z2024-012: Specific Use Permit (SUP) For a Pickle Ball Court at 1722 Ridge Road



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

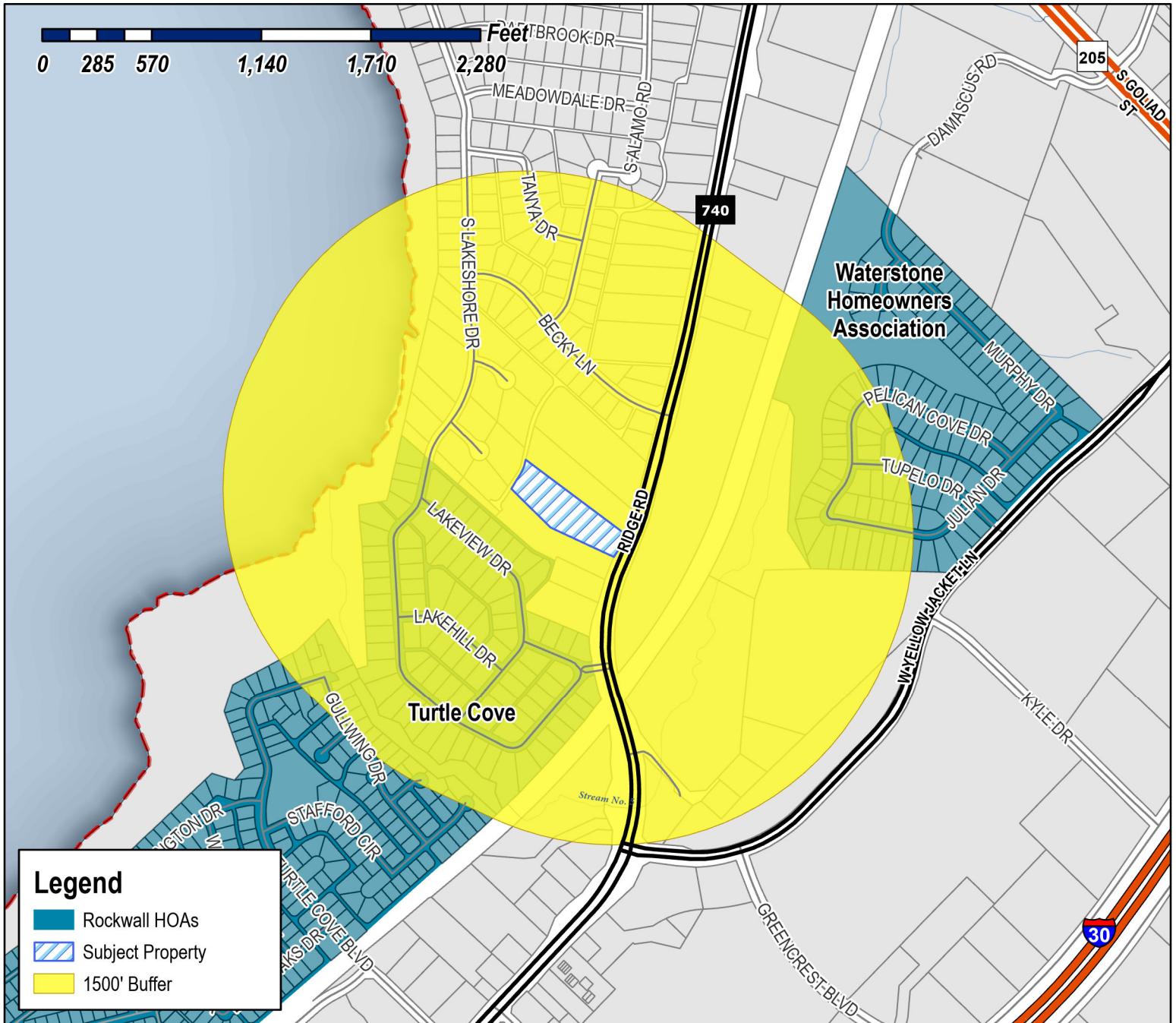




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Case Number: Z2024-012
Case Name: Specific Use Permit (SUP) for a Pickle Ball Court at 1722 Ridge Road
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1722 Ridge Road

Date Saved: 3/15/2024

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2024-012]
Date: Tuesday, March 19, 2024 10:59:35 AM
Attachments: [HOA Map \(03.14.2024\).pdf](#)
[Public Notice \(P&Z\) \(03.15.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday March 22, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, April 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, April 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-012: SUP for a Tennis Court (Pickleball Court)

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a [Specific Use Permit \(SUP\)](#) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

Melanie Zavala

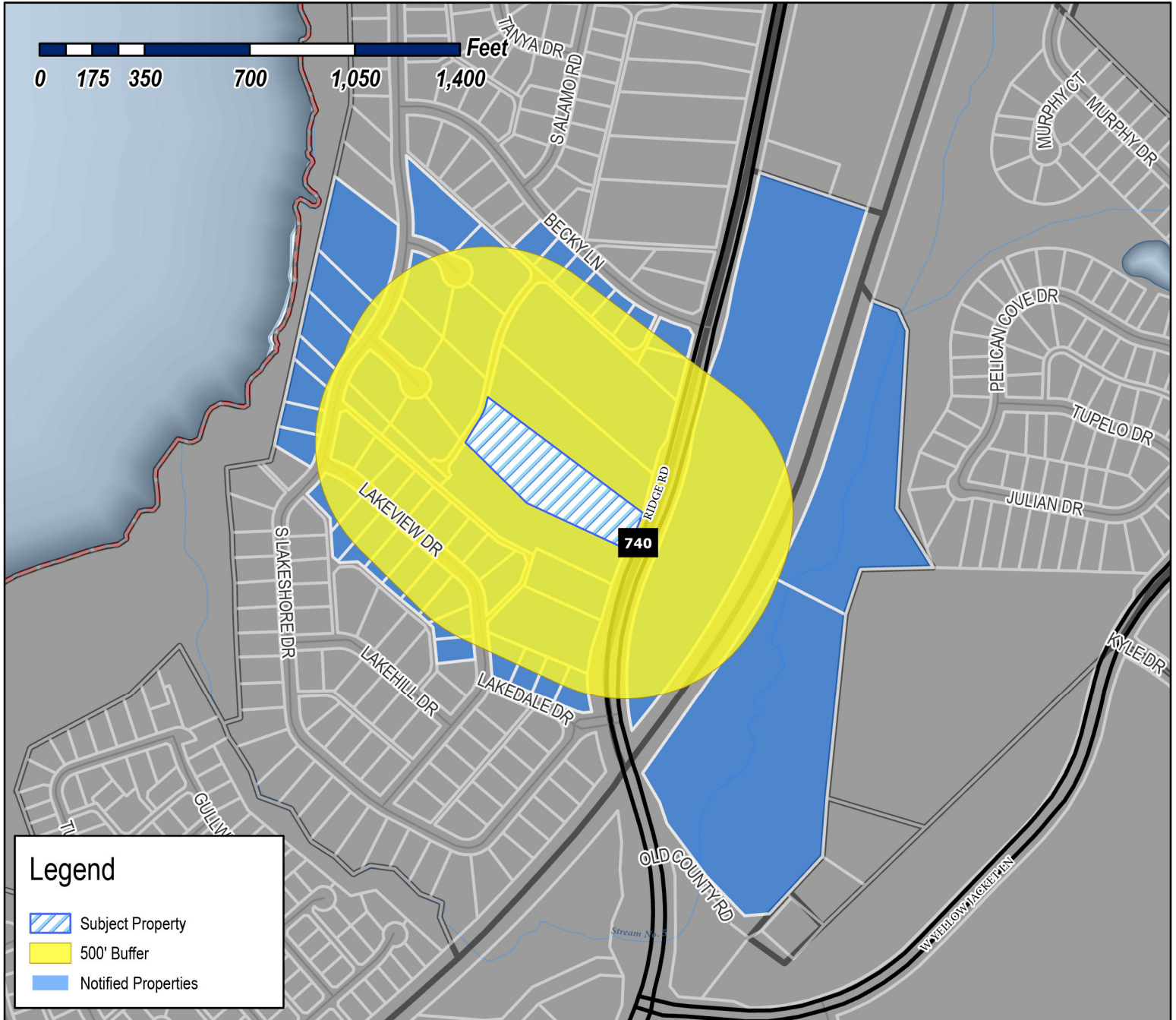
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
<http://www.rockwall.com/>
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

- Subject Property
- 500' Buffer
- Notified Properties

Case Number: Z2024-012
Case Name: Specific Use Permit (SUP) for a Pickle Ball Court at 1722 Ridge Road
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 1722 Ridge Road

Date Saved: 3/14/2024

For Questions on this Case Call: (972) 771-7746



NEUFELL JAMES V AND FRANCINE M
101 BECKY LN
ROCKWALL, TX 75087

RESIDENT
102 LAKEDALE DR
ROCKWALL, TX 75087

MARSHALL RICHARD A AND
KENNETH F WILSON
103 BECKY LN
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

WEST KENDRA LYNN AND
JOHN HENRY LEWIS
104 LAKEDALE DRIVE
ROCKWALL, TX 75087

COX MARCUS D
105 BECKY LANE
ROCKWALL, TX 75087

AZULAY TJ AND MELINDA
105 EMERALD COVE
HEATH, TX 75032

MARTINEZ GRACE & JESSE LEE III
106 LAKEDALE DR
ROCKWALL, TX 75087

RESIDENT
107 BECKY LN
ROCKWALL, TX 75087

PECK RUTH H
108 LAKEDALE DR
ROCKWALL, TX 75087

HFS MANAGEMENT INC
C/O HANNA SAHLIYEH
122 W JOHN CARPENTER FWY STE 400
IRVING, TX 75039

WELLS RACHEL MARY
1502 RIDGE ROAD
ROCKWALL, TX 75087

BARRON JOSE ENRIQUE AND ELIZABETH
1504 RIDGE RD
ROCKWALL, TX 75087

MCANALLY JOHN L & CINDY N
1600 RIDGE RD
ROCKWALL, TX 75087

STAGGS STEVEN C & MARLYN D
1601 SEASCAPE CT
ROCKWALL, TX 75087

RESIDENT
1602 RIDGE RD
ROCKWALL, TX 75087

FIELDS R THEODORE JR &
ALEXIA C
1603 SEASCAPE CT
ROCKWALL, TX 75087

WRIGHT JOHN & SUSAN
1605 SEASCAPE CT
ROCKWALL, TX 75087

RYAN THOMAS M & ROXANN W
1607 SEASCAPE CT
ROCKWALL, TX 75087

KENNETH & GLENDA JONES FAMILY TRUST
KENNETH RAY JONES AND GLENDA JOYCE
JONES- TRUSTEES
1608 S LAKESHORE DRIVE
ROCKWALL, TX 75087

RESIDENT
1609 CAPE HATTERAS PL
ROCKWALL, TX 75087

BATIZ HECTOR
1611 CAPE HATTERAS PLACE
ROCKWALL, TX 75087

MILLER LIVING TRUST
ROLAND MORRIS MILLER III TRUSTEE
1612 S LAKESHORE DR
ROCKWALL, TX 75087

NOBLIE LESLIE A
1613 CAPE HATTERAS PL
ROCKWALL, TX 75087

RIOS LUISA N AND MANOLO
1614 S LAKESHORE DRIVE
ROCKWALL, TX 75087

RESIDENT
1615 CAPE HATTERAS PL
ROCKWALL, TX 75087

HARRIS FAMILY LAKE HOUSE, LLC
1663 MISSOURI ST
SAN DIEGO, CA 92109

SINGER JOHN B JR & GAIL P
1702 S LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
1722 RIDGE RD
ROCKWALL, TX 75087

GREEN STEVEN T
1724 RIDGE RD
ROCKWALL, TX 75087

RESIDENT
1726 RIDGE RD
ROCKWALL, TX 75087

HATCHER JASON &
NATASHA HATCHER
1728 RIDGE RD
ROCKWALL, TX 75087

HARMON MICHAEL JOHN
1802 S LAKESHORE ROAD
ROCKWALL, TX 75087

TOLMAN JENNIFER L
1804 S LAKESHORE DR
ROCKWALL, TX 75087

CHAPMAN CHRISTOPHER
1902 S LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
1905 LAKESHORE DR
ROCKWALL, TX 75087

NEVITT THERESA T
201 BECKY LN
ROCKWALL, TX 75087

LYNAS GERALD ETUX
203 BECKY LN
ROCKWALL, TX 75087

PODREBARAC MATTHEW & ABIGAIL LYNN
205 LAKEVIEW DR
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN
206 LAKEVIEW DR
ROCKWALL, TX 75087

BROYLES LYNN
207 LAKEVIEW DR
ROCKWALL, TX 75087

HAYNES PETER & JANNA
208 LAKEVIEW DRIVE
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE
209 LAKEVIEW DR
ROCKWALL, TX 75087

VOLESKY TAYLOR &
ERIC MAURO
210 LAKEVIEW DR
ROCKWALL, TX 75087

TURNER BILLIE SUE
211 LAKEVIEW DR
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R
212 LAKEVIEW DR
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R
213 LAKEVIEW DR
ROCKWALL, TX 75087

FENTON DONYELLE
214 LAKEVIEW DRIVE
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM
215 LAKEVIEW DR
ROCKWALL, TX 75087

ODEN ELRA C
216 LAKEVIEW DR
ROCKWALL, TX 75087

MCCRACKEN SUSAN M
217 LAKEVIEW DR
ROCKWALL, TX 75087

RESIDENT
218 LAKEVIEW DR
ROCKWALL, TX 75087

RESIDENT
219 LAKEVIEW DR
ROCKWALL, TX 75087

DEFAZIO RODERICK S & MARGARET R
220 LAKEVIEW DR
ROCKWALL, TX 75087

CARROLL ANGELA C & CHRIS S
222 LAKEVIEW DR
ROCKWALL, TX 75087

HULLUM RANDY LEE
2795 COUNTY ROAD 3210
LONE OAK, TX 75453

JAMES & MARY SYVRUD REVOCABLE TRUST
JAMES P SYVRUD AND MARY J SYVRUD
301 MCKINNEY ST
FARMERSVILLE, TX 75442

SOLENA GROUP, LLC
321 PRAIRIE VIEW RD
ROCKWALL, TX 75087

HENDRICKS JAMES & BARBARA
5903 VOLUNTEER PL
ROCKWALL, TX 75032

HUDSON SFR PROPERTY HOLDINGS LLC
C/O HUDSON HOMES MANAGEMENT LLC
ATTN: HEATHER HAWKINS 2711 N HASKELL STE
1800
DALLAS, TX 75204

HALL BRANDON & ADRIENNE
P. O. BOX 201
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-012: SUP for a Tennis Court (Pickleball Court)

Hold a public hearing to discuss and consider a request by Preston Harris of Harris Family Lake House, LLC for the approval of a Specific Use Permit (SUP) for Tennis Courts (Pickleball Courts) on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2024-012

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Can there be a playground with the pickle ball courts? :)

Respondent Information

Please provide your information.

First Name *

Abigail

Last Name *

Podrebarac

Address *

205 Lakeview Dr.

City *

Rockwall

State *

TX

Zip Code *

75087

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

I received a property owner notification in the mail.

I read about the request on the City's website.

I saw a zoning sign on the property.

I read about the request in the Rockwall Herald Banner.

My neighbors told me about the request.

Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am not opposed to the pickle ball court per se. The flood lights are invasive to my home. I am opposed to the flood lights.

Name: Leslie A. Noble

Address: 1613 Cape Hatteras Pl Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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From:
To: [Planning](#)
Cc: [Rachel M Wells](#)
Subject: Z2024-012: SUP for a Tennis (Pickleball) Court Resident Concern
Date: Wednesday, March 27, 2024 9:02:52 PM

Dear Mr. Miller and Mr. Lee,

My name is Rachel Wells and I'm a resident of Rockwall, residing in the property I own at 1502 Ridge Rd (at Becky Lane).

I'm writing to express and document my opposition to Z2024-012: SUP for a Tennis (Pickleball) Court.

My opposition has several components:

A) TRAFFIC: Too much of it currently + Lack of any traffic planning or options for Ridge Rd over-development

Anyone who daily utilizes Ridge Rd to access I-30 in this explosively-growing community can and will attest to the gigantic concerns we all have for lack of wide-scale traffic and emergency route planning. Just sit at any coffee shop, local restaurant, or in line at Target, every stranger to each other is complaining about it, in every mundane interaction, the traffic there is a top topic for all Rockwallians. Ridge Rd is the main artery through this once-smaller community and as such is the critical for emergencies and general commuting through the city and around the neighborhoods. It is also critical as a cut-through for emergency services. The traffic in the past several months as any casual commuter can objectively witness, is beyond congested at the I-30 interchange light- often backed up near to Yellowjacket and beyond. Putting yet another new development along the West side of the street at Yellowjacket Lane is an abject disregard for the current neighborhood's residents who already felt unheard due to the timing of the meetings (at the Christmas holidays) which changed zoning to enable an exceptionally tall officer tower development on the East side of the street.

B) IRRIGATION/FLOODING/DRAINAGE

As anyone who drives this section of Ridge Rd after a rain can also attest, there is dramatic flooding in this area already with so much development, concrete and building interfering with natural run-off. This is yet again, something not *currently* addressed with the current level of building and unfettered, unplanned "development" — it needs addressing for the current situation. Drive it right after a rain, and tell us that there is adequate drainage.

C) OTHER VACANT LOCATIONS

There are plenty of giant parcels of land available on the edges of town - not in the middle of the main artery - that could accommodate a pickle ball/tennis-specific facility. There does not need to be one smack dab in the

middle of an established neighborhood.

D) NOISE

What was a peaceful, "neighborhood" has now more and more backed up traffic, cars stop-going and trying to enter-exit going into a lot for the "courts". This is an established neighborhood. Homes here over 45 years in this area. Why would this be needed suddenly? To address population growth and the massive outcry for pickleball?

E) WHY PICKLEBALL/TENNIS? Who is asking for this from the community? If we think we *need* a "athletic or recreation center" - why cater only to those who play these sports? Some might like basketball, some might like yoga. Where is that for the "community" members who are giving up the sense of established neighborhood to a giant office tower on the East side of Ridge Rd, and then a pickle ball-specific complex on the West side? Also, would the "city" own the courts? No? If this is yet another private developer from out of state trying to re-develop my Rockwall community smack dab next to my home, and the long-time homes of my neighbors, many of them elderly because they have been here for decades, no.

In general, why oh why do we need this? Tax revenue? I get it, tax revenue and business development is good for the county. It only works when the development benefits the majority of the community and we are not turning Rockwall into a place with no "there" there. Just unplanned, unfettered development for the latest high bidder. There are plenty of places to develop into a court like this. Who on earth thinks more traffic in and out of Ridge Rd right at that area would be a good idea? Not a single soul who actually lives or drives it daily.

Thank you for considering and documenting my feedback into the record on this matter. Please register me, OPPOSED.

Sincerely,
Rachel Wells
1502 Ridge Rd
Rockwall, TX 75087

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Z2024-012: SUP for a Tennis Court (Pickleball Court)

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385 S. Goliad Street
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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-012: SUP for a Tennis Court (Pickleball Court)

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Traffic will increase.
It will pull people into the neighborhood who do not live here.

Name: RON TAYLOR
Address: 213 LAKEVIEW DR.

Ron Taylor

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We are opposed ^{only} to the lightening surrounding the courts as they can be seen by

Name: many homes owners and are intrusive

Address: WRIGHT - 1605 SEASCAPE CT.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Several neighbors have complained that

CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

The light shines into their bedrooms.

March 14, 2024

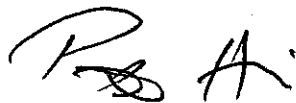
Preston Harris
1722 Ridge Rd
Rockwall, TX 75087

To Whom It May Concern:

I hope this letter finds you all well. Harris Family Lake House and it's majority owner Preston Harris are submitting for a Special Use Permit pertaining to a sport court that has been built on the family property. We regret we are submitting for the application post construction. Unfortunately when doing an internet search for if we needed a permit for a pickleball court, a sport court, or basketball court we failed to find any relevant information stating we needed one. Also, after discussing with the court's builder, we were also advised by them that a permit was not needed. We did take their advice and concluded that a permit was not needed.

We are here to rectify that situation today after being notified in early March that our conclusion was incorrect. Please take into consideration that avoiding the permitting process was never our intent.

Thank you again for your consideration on this matter,

A handwritten signature in black ink, appearing to read 'P. Harris', with a stylized flourish at the end.

Preston Harris



Page 223 of 317



CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A PRIVATE TENNIS COURT ON A 2.522-ACRE PARCEL OF LAND IDENTIFIED AS LOT 4, BLOCK C, THE ESTATES OF COAST ROYALE #1 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBITS 'A' AND 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Preston Harris of Harris Family Lake House, LLC for the approval of a *Specific Use Permit (SUP)* for *Private Tennis Courts (Pickleball Courts)* on a 2.522-acre parcel of land identified as Lot 4, Block C, The Estates of Coast Royale #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1722 Ridge Road, and more fully described and depicted in *Exhibits 'A' and 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to grant a Specific Use Permit allowing for the establishment of a *Private Tennis Court* in a Single Family 10 (SF-10) District as stipulated by, Article 04, *Permissible Uses*, and Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Private Tennis* court on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- (1) The *Private Tennis Court (Pickleball Court)* shall maintain conformance to *Exhibits 'A' and 'B'* of this ordinance.
- (2) All exterior lights placed or erected on the *Private Tennis Court (Pickleball Court)* shall be directed down. In addition, the lights shall be of the shielded type luminaries and installed so as to not to produce harsh, bright light or direct illumination across the property line from a visible source of illumination so as not to create a traffic hazard or public nuisance.
- (3) The applicant shall have 90-days to obtain a building permit for the *Private Tennis Court (Pickleball Court)*.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the property owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th DAY OF MAY, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Location Map

LEGAL DESCRIPTION. LOT 4, BLOCK C, THE ESTATES OF COAST ROYALE #1 ADDITION

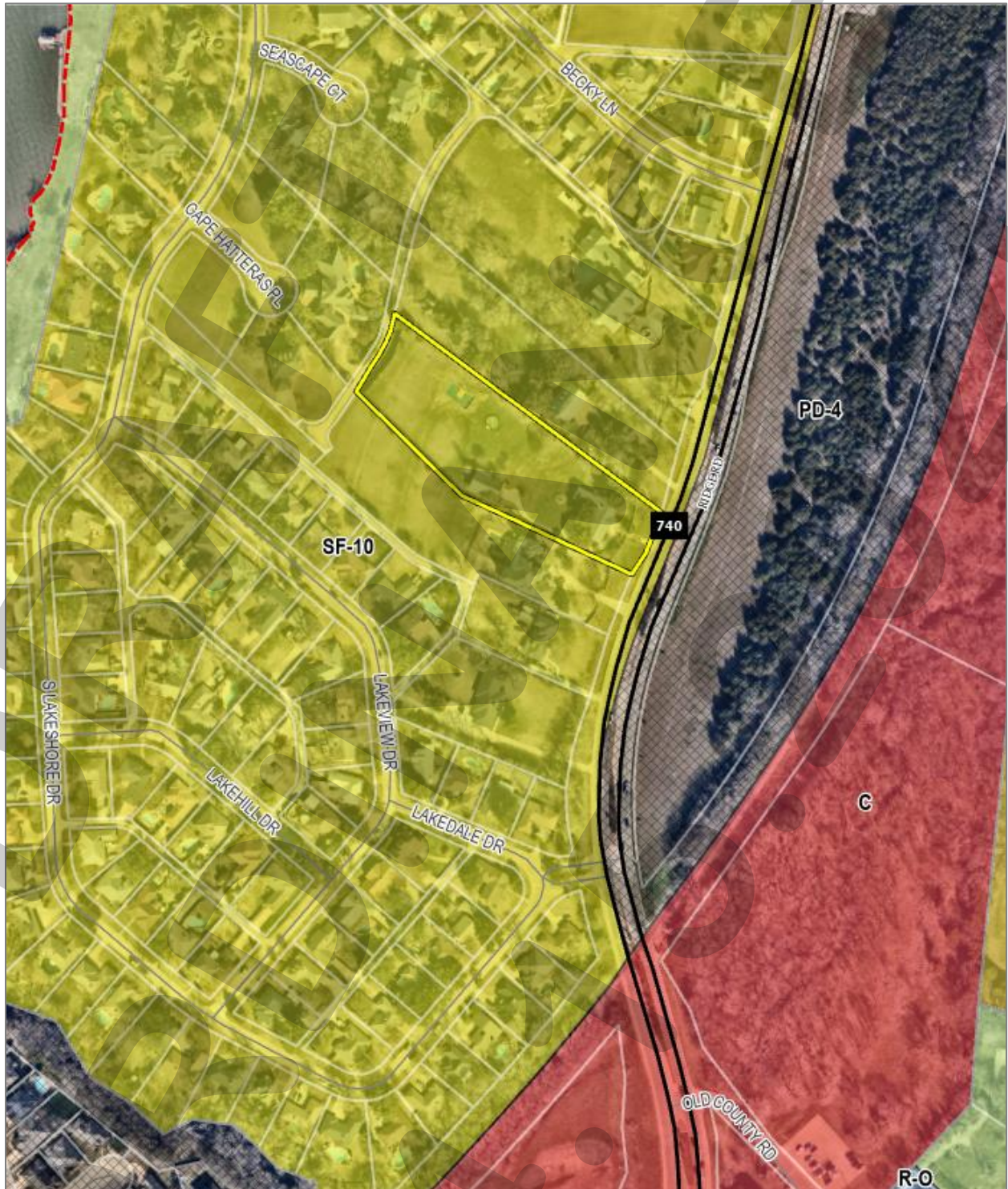
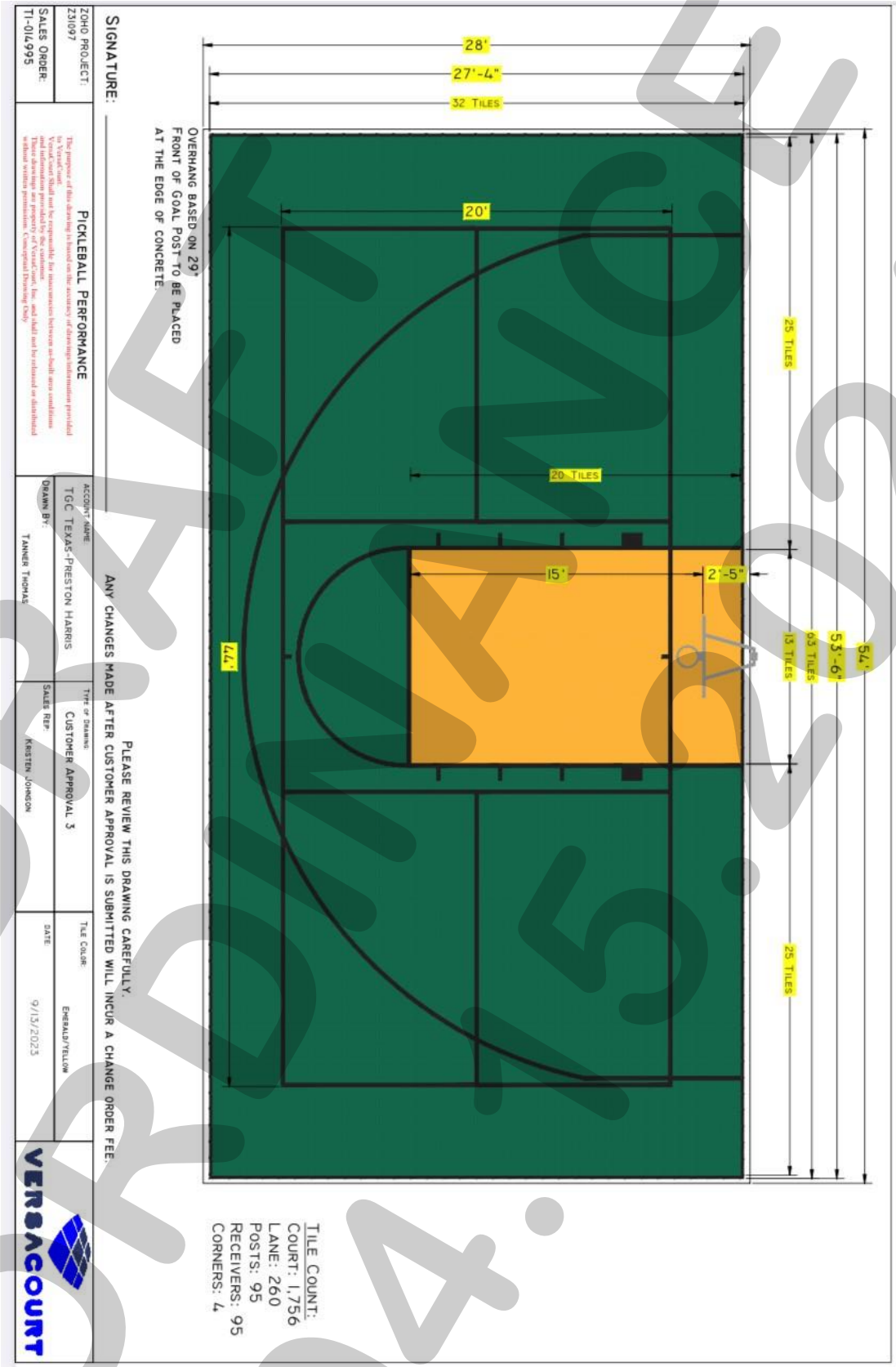


Exhibit 'B'
Pickleball Court Design





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: April 15, 2024
APPLICANT: Paul Arce; *Projects & Constructions Araque*
CASE NUMBER: Z2024-013; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 340 Evans Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lots 1180 & 1179 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. The subject property has been vacant since its annexation.

PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC)..

ADJACENT LAND USES AND ACCESS

The subject property is located at 340 Evans Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 90.5-acre vacant tract of land (*which is part of a larger 140.5-acre tract of land identified as Tract 3 of the G. Wells Survey, Abstract No. 219*), which is zoned Planned Development District 101 (PD-101) for Single-Family 10 (SF-10) District land uses. Beyond that is Mims Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 48-6670-acre parcel of land (*i.e. Lot 3 of the W.H. Barnes Survey, Abstract No. 26*), which is zoned Commercial (C) District and belongs to the Rayburn Country Electric Cooperation.

South: Directly south of the subject property is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with modular homes, with some of the lots being developed with

single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is Renee Drive, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 0.66-acre parcel of land (*i.e. 557 Renee Drive*) developed with a modular home and zoned Planned Development District 75 (PD-75).

West: Directly west of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile/manufactured homes, with some of the lots being developed with single-family homes. Beyond this is a 66.083-acre tract of land (*i.e. Tract 2 of the G. Wells Survey, Abstract No. 219*), which consists of Rockwall Lake and is zoned Planned Development District 75 (PD-75).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Evans Road and Russell & Wayne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Evans Road, Wayne Drive & Russell Drive	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes face the towards Evans Road, Wayne or Russell Drive.	The front elevation of the home will face onto Evans Road.
Year Built	1970-2003	N/A
Building SF on Property	970 SF – 2,558 SF	3,306 SF
Building Architecture	Majority Modular Homes and Two (2) Single-Family Homes	Comparable Architecture to Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot setback.	X>5-Feet, X= 5-Feet
Rear	The rear yard setbacks appear to conform to the ten (10) feet rear yard setback.	17-Feet
Building Materials	Metal, Modular Paneling, Masonite Siding, and Brick.	Brick and Stone
Paint and Color	White, Gray, Red, Yellow, Blue, Green	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Asphalt Composite Shingle

Driveways/Garages	No Garages or Carports	The garage will be a front entry garage with the driveway facing onto Evans Road.
-------------------	------------------------	---

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant is proposing to put the garage approximately five (5) feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Lake Rockwall Estates Subdivision in the past, and that the single-family home directly west of the subject property appears to be in the same configuration as the proposed home. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Evans Road, Wayne Drive, and Russell Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On March 22, 2024, staff mailed 81 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant’s request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit ‘A’* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit ‘B’* of the draft ordinance;
 - (c) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit; and,
 - (d) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the *Specific Use Permit (SUP)* by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 0 Evans Road Rockwall TX 75032

SUBDIVISION _____ LOT 1179 BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Residential CURRENT USE _____

PROPOSED ZONING Residential PROPOSED USE _____

ACREAGE 0.2 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

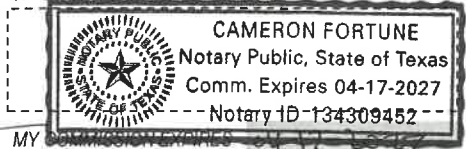
<input type="checkbox"/> OWNER	<u>Shirley Soto</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Projects & Constructions</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>PAUL ARCE Araque</u>
ADDRESS	<u>453 Lynn @ Dr</u>	ADDRESS	<u>18601 LBJ Fwy SUITE 250</u>
CITY, STATE & ZIP	<u>Rockwall TX 75032</u>	CITY, STATE & ZIP	<u>MESQUITE TX 75150</u>
PHONE	<u>(903) 985-1425</u>	PHONE	<u>(972) 365-6823</u>
E-MAIL	_____	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shirley Soto [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 219 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF March, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

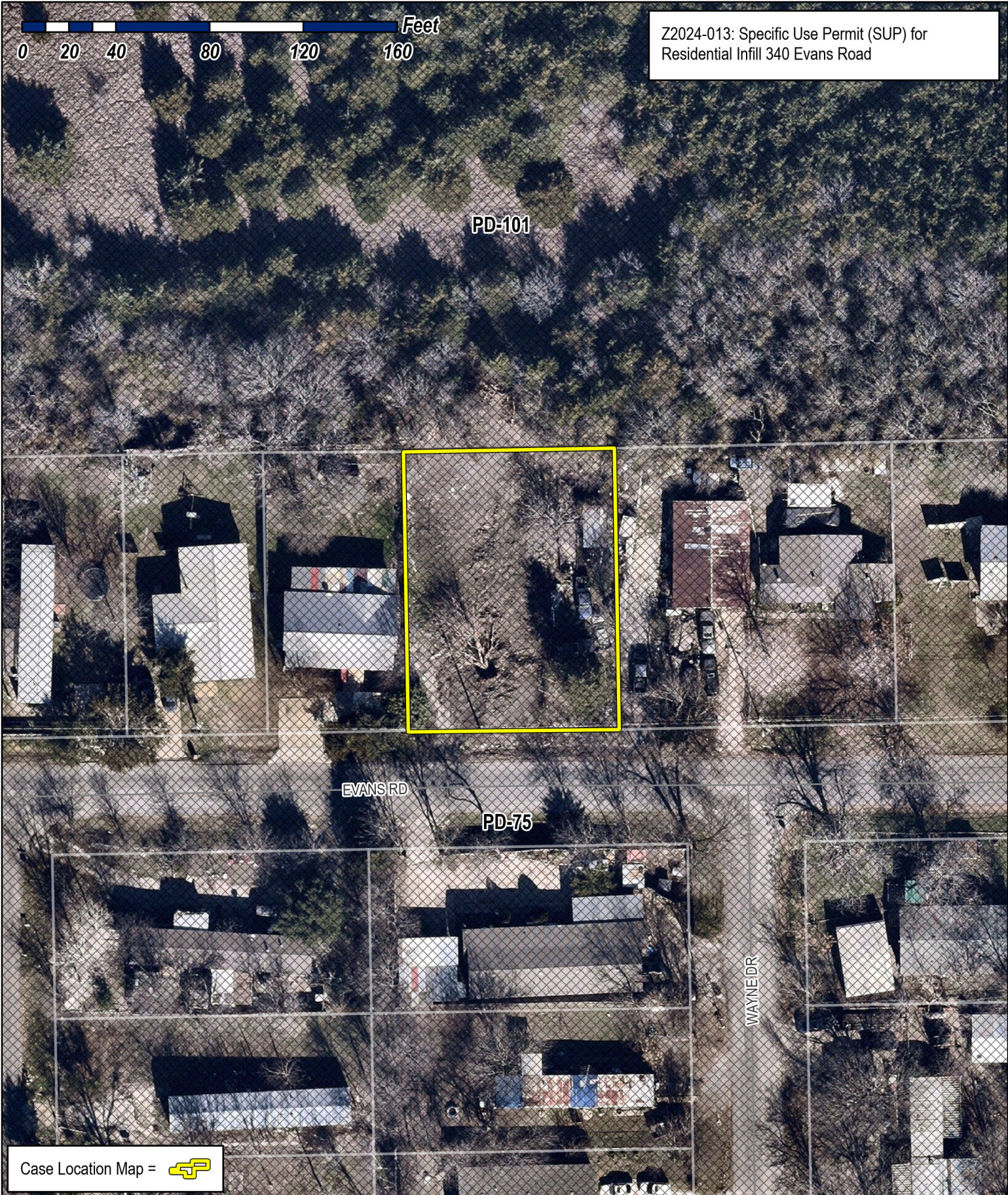
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF March, 2024.
OWNER'S SIGNATURE Shirley Soto



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cameron Fortune



Z2024-013: Specific Use Permit (SUP) for Residential Infill 340 Evans Road



PD-101

EVANS RD

PD-75

WAYNE DR

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

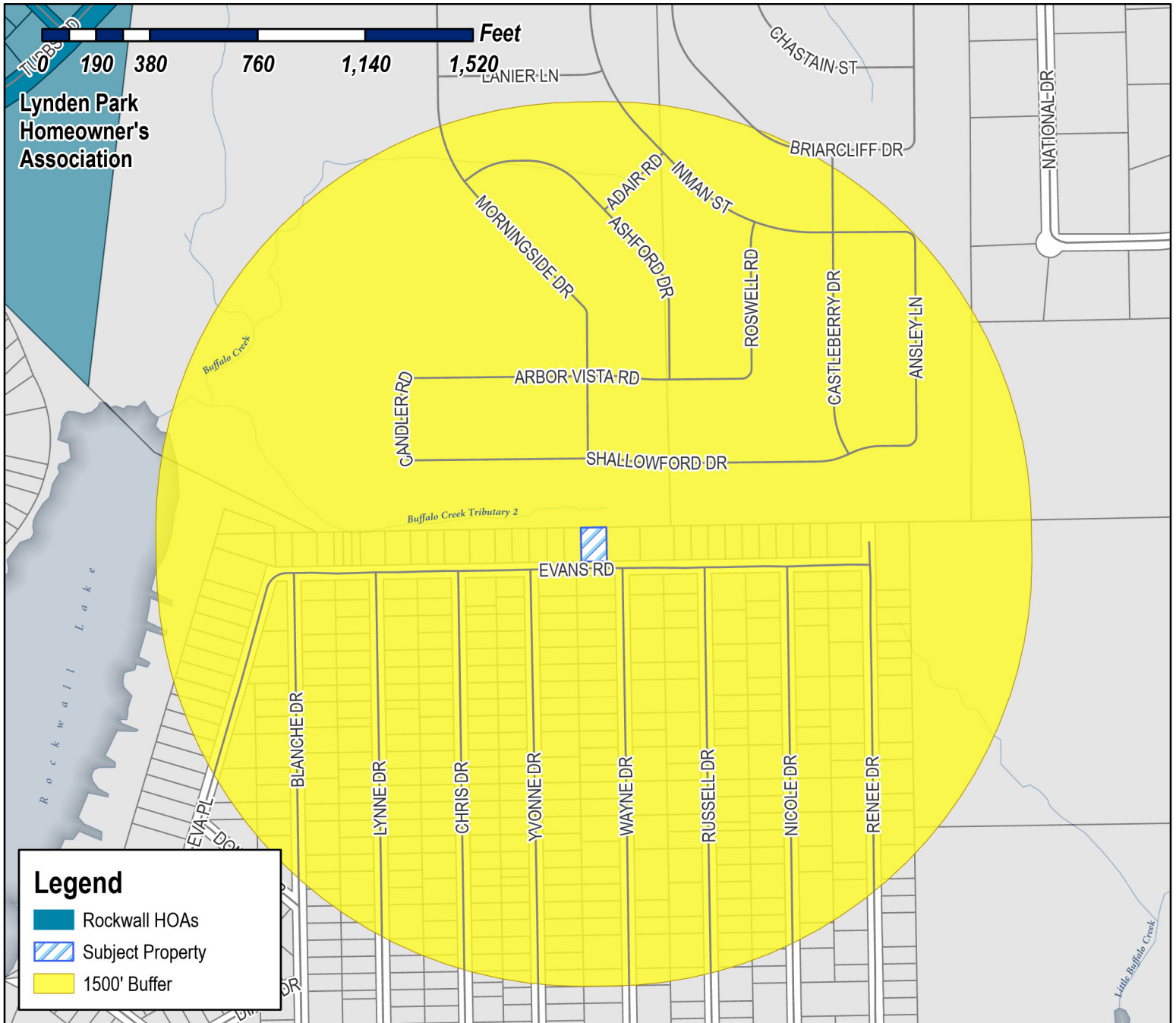




City of Rockwall

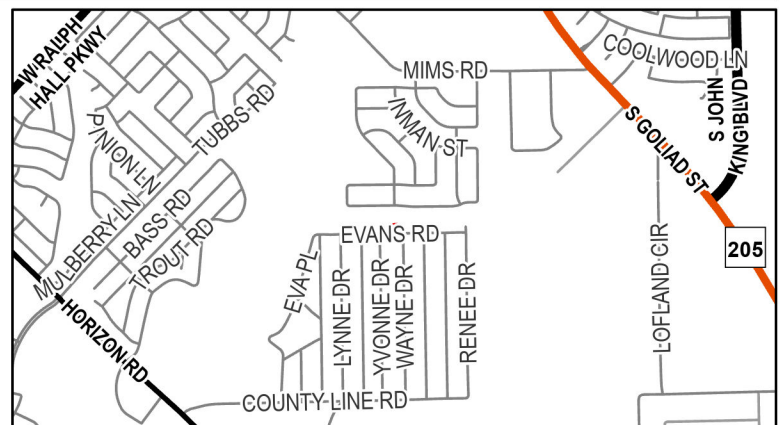
Planning & Zoning Department
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Case Number: Z2024-013
Case Name: Specific Use Permit (SUP) for Residential Infill at 340 Evans Road
Case Type: Zoning
Zoning: Planned Development 75 (PD-75) District
Case Address: 340 Evans Road

Date Saved: 3/15/2024
 For Questions on this Case Call (972) 771-7745

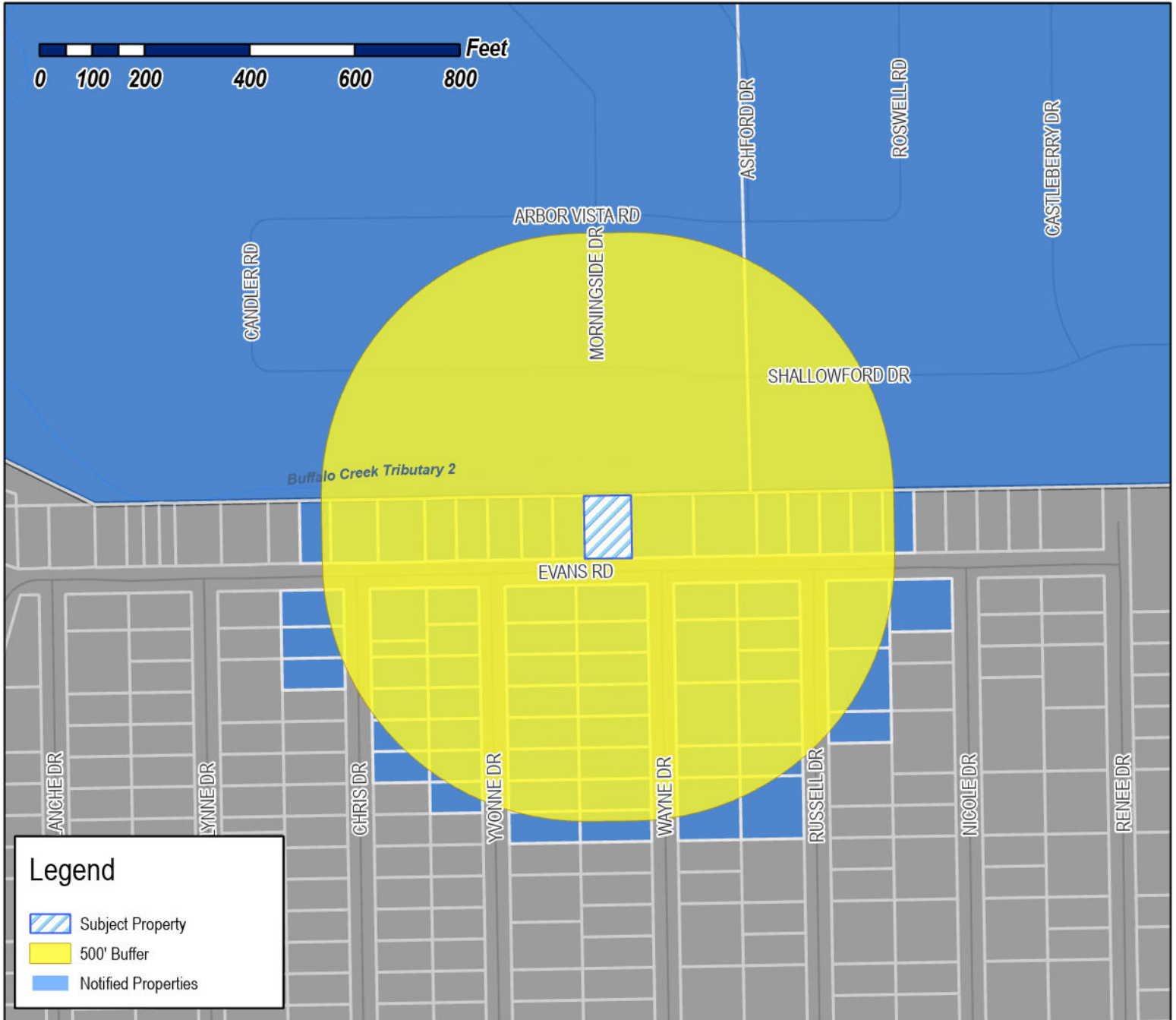




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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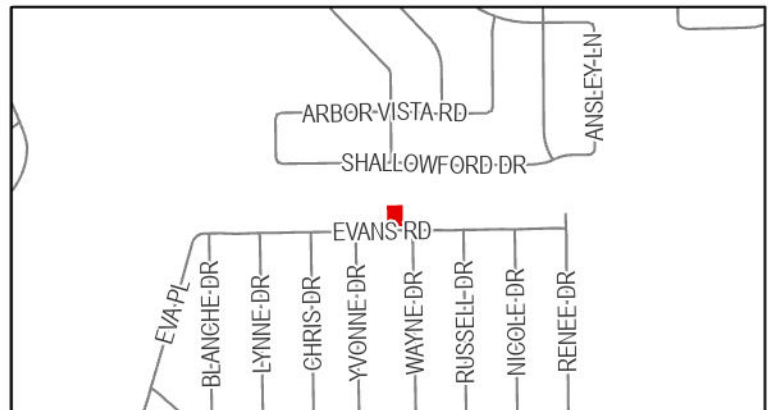
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Case Number: Z2024-013
Case Name: Specific Use Permit (SUP) for Residential Infill at 340 Evans Road
Case Type: Zoning
Zoning: Planned Development District 75 (PD-75)
Case Address: 340 Evans Road

Date Saved: 3/15/2024

For Questions on this Case Call: (972) 771-7746



SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

DEAN ANN W
106 STANDING OAK DR
GEORGETOWN, TX 78633

QUALICO DEVELOPMENTS (US), INC
14400 THE LAKES BLVD BUILDING C, SUITE 200
AUSTIN, TX 78660

UC LUIS JOSE &
GELLY DEL ROSARIO XOOL
186 NICOLE DR
ROCKWALL, TX 75032

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

MEJIA RAMIRO
244 EVANS RD
ROCKWALL, TX 75032

NGO HA THAI AND MIA DINH
2505 WESTBANK TRL
GARLAND, TX 75042

RESIDENT
266 EVANS RD
ROCKWALL, TX 75032

SAULS AND BROS COMPANY LLC
2716 GREENHILL DRIVE
MESQUITE, TX 75150

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS
ROCKWALL, TX 75032

RESIDENT
302 EVANS RD
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

GONZALEZ NORMA PATRICIA SOLIS
388 EVANS RD
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA
400 EVANS RD
ROCKWALL, TX 75032

LLANAS JOSUE MENDOZA
400 EVANS RD
ROCKWALL, TX 75032

GAMEZ PETRA K MARTINEZ
406 EVANS
ROCKWALL, TX 75032

RESIDENT
412 EVANS RD
ROCKWALL, TX 75032

RESIDENT
418 EVANS RD
ROCKWALL, TX 75032

BALLEZA REAL ESTATE LLC AND
ANA QUEZADA
4408 AIKEN TRL
SACHSE, TX 75048

YANEZ SANDRA R TORRES
441 LYNNE DRIVE
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

CRUZ MARIO
461 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
466 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
470 RUSSELL DR
ROCKWALL, TX 75032

RESIDENT
470 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
471 YVONNE DR
ROCKWALL, TX 75032

SOTO DOMINGO
471 WAYNE DR
ROCKWALL, TX 75032

MORENO ORALIA SOLIS
474 BASS ROAD
ROCKWALL, TX 75032

MORENO LUIS NOE
474 BASS ROAD
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

ALONSO ELEASAR &
BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DRIVE
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
488 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
491 YVONNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND
FANIA GARCIA
494 RUSSELL LOT 1252
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

VELASQUEZ LORENA
501 CHRIS DRIVE
ROCKWALL, TX 75033

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

HERNANDEZ BENJAMIN
509 YVONNE DR
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

RESIDENT
513 CHRIS DR
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

LEON VANESSA RANGEL
514 YVONNE DR
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
518 RUSSELL DR
ROCKWALL, TX 75032

JIMENEZ LEONARDO
5201 KELSO LN
GARLAND, TX 75043

RESIDENT
521 YVONNE DR
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR
ROCKWALL, TX 75032

RESIDENT
528 CHRIS DR
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

RESIDENT
531 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
534 YVONNE DR
ROCKWALL, TX 75032

RETANA JUAN &
YENY RUBIO
535 CHRIS DR
ROCKWALL, TX 75032

STRICKLAND TARA
536 WAYNE DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

DELGADO JUAN E & MARIA L
541 YVONNE DR
ROCKWALL, TX 75032

RESIDENT
544 YVONNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE ST
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
848 SMITH ACRES DR
ROYSE CITY, TX 75189

SAFRA PROPERTIES INC
PO BOX 69
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-013: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Paul Arce of Projects & Constructions Araque on behalf of Shirley Soto for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.248-acre tract of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 340 Evans Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-013: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

1/2" IRF FOR WITNEES
S 25°28'38" W 1'-45"

N 89°30'00" E 90'-00"

N 00°30'00" W 120'-00"

S 00°30'00" E 120'-00"

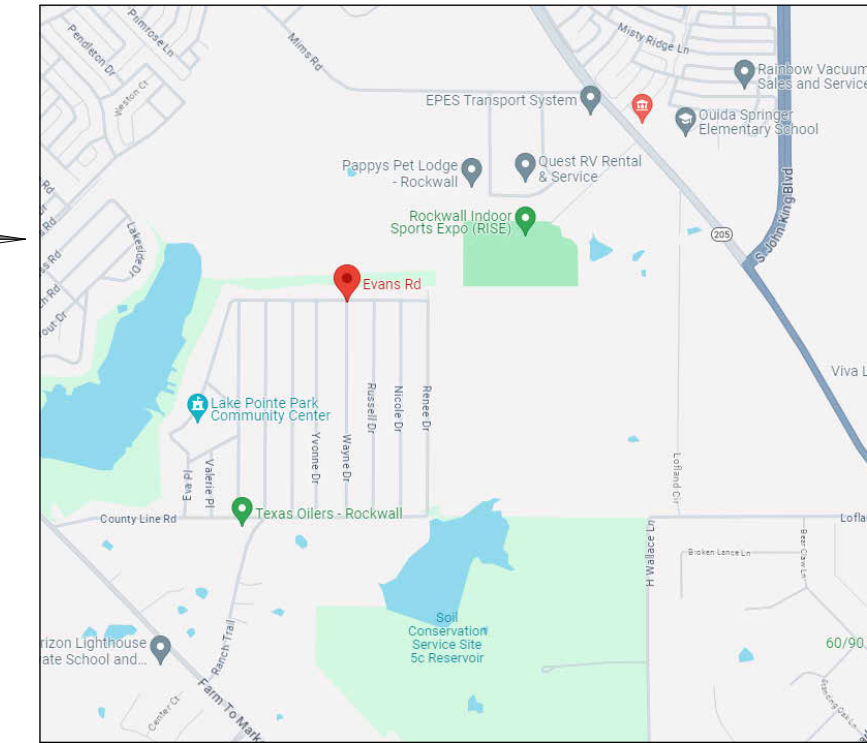
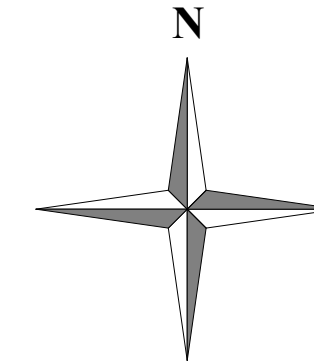
**NEW HOUSE
PROPOSED
3.306 SG/FT**

**NOTE:
SAYING MINIMUM
SLOPE OF 1/4:12 ON
INTERSECTIONS**

0'-1" OFF

3/8" IRF FOR WITNEES
N 0°35'53"

S 89°30'00" W 90'-00"



VICINITY MAP

**EVANS ROAD
LOT 1179**

Proposed Floor Plan	2,417.5 SG/FT
Total New Construction	2,417.5 SG/FT
Proposed Garage	469.4 SG/FT
Proposed Porch Cover	75 SG/FT
Proposed Patio Cover	344.1 SG/FT
Total New Construction	3.306 SG/FT
Lot	1179
Country	Dallas
City	Rockwall
Lot Area	0.2 ACRES
Max Lot Coverage	35%
Lot Coverage	65%

1 Site Plan
1" = 10'-0"

EVANS ROAD
50' R.O.W.



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.
GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACKING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address
EVANS ROAD

Legal Description
LOT 1179

SITE PLAN

Project number:

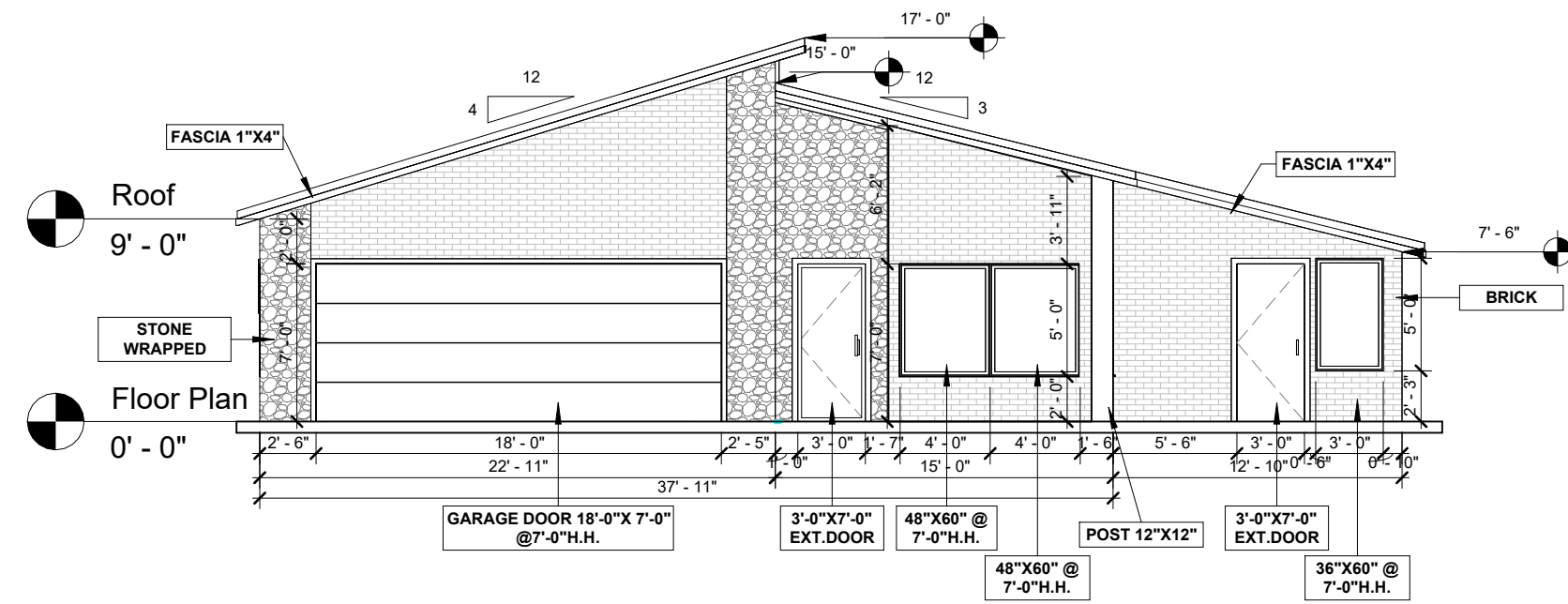
Date:

02/17/2024

Scale

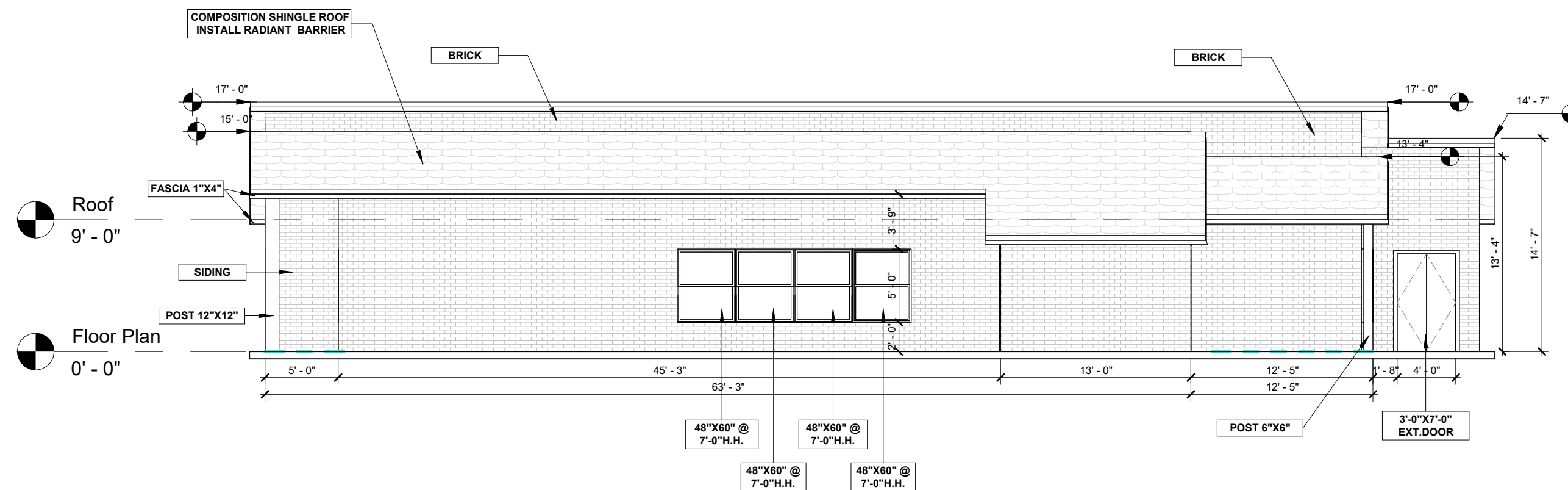
1" = 10'-0"

Drawn by: Projects & Construction Araque



1 Front Elevation

1/8" = 1'-0"



2 Right Elevation

1/8" = 1'-0"



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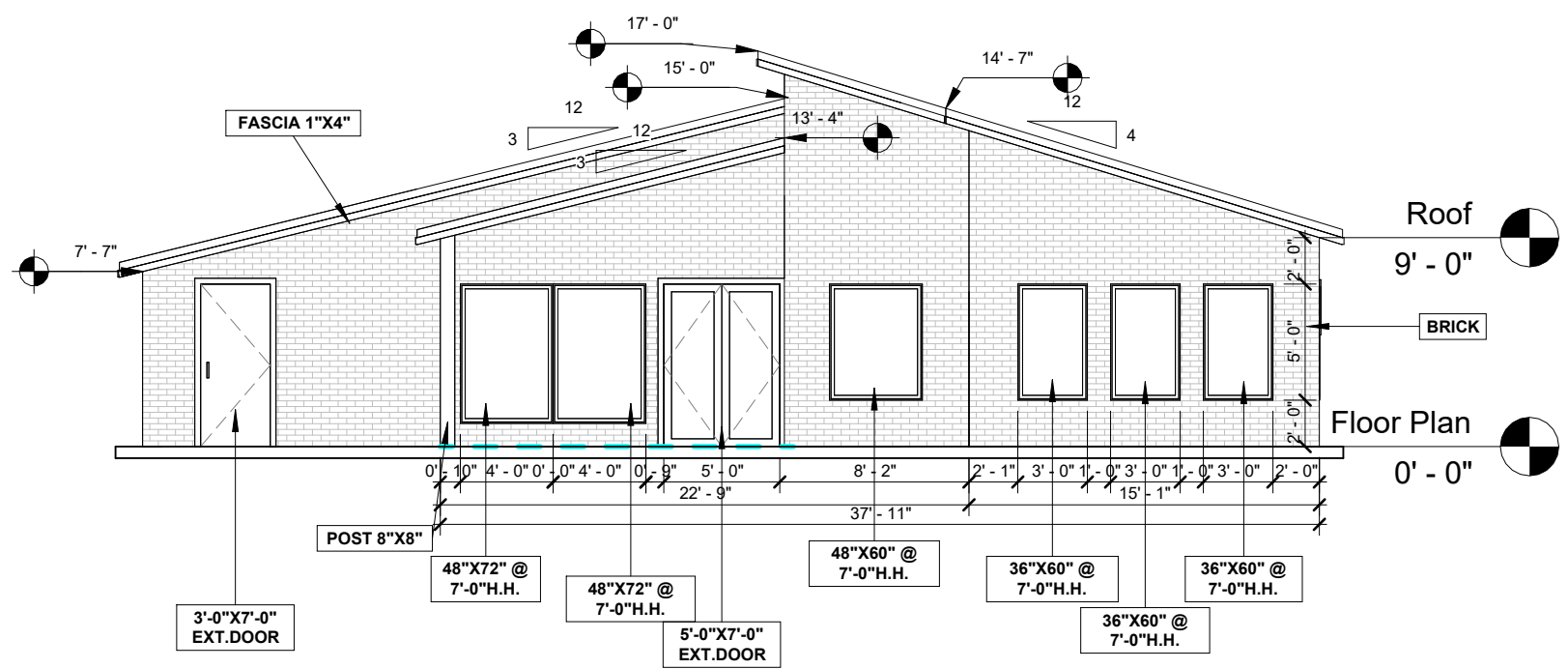
Project Name & Address
EVANS ROAD

Legal Description
LOT 1179

ELEVATIONS

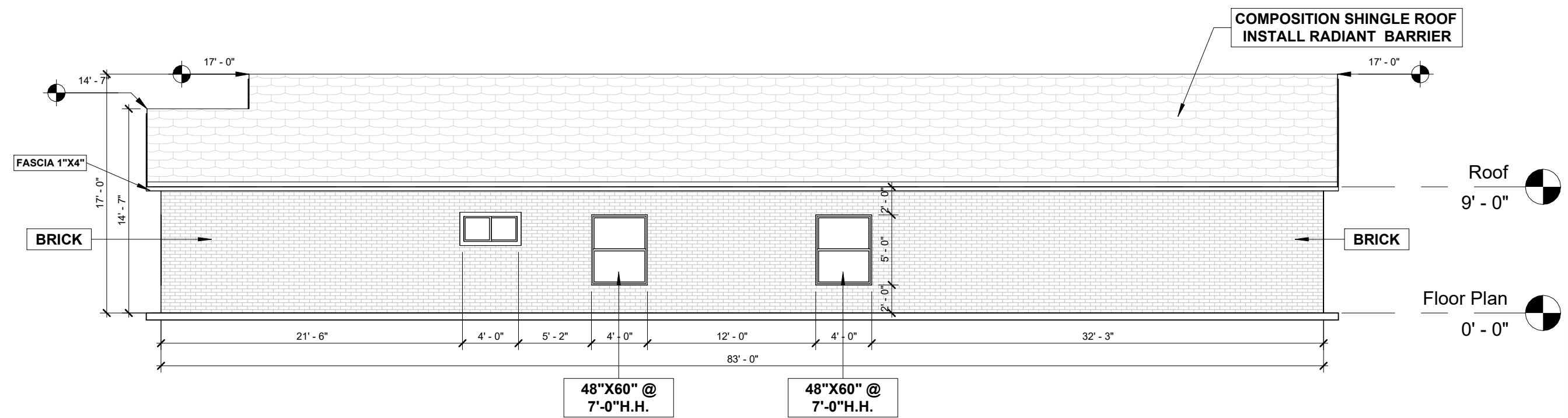
Project number:
Date: 02/17/2024 Scale 1/8" = 1'-0"
Drawn by: Projects & Construction Araque

11



1 Rear Elevation

1/8" = 1'-0"



2 Left Elevation

1/8" = 1'-0"



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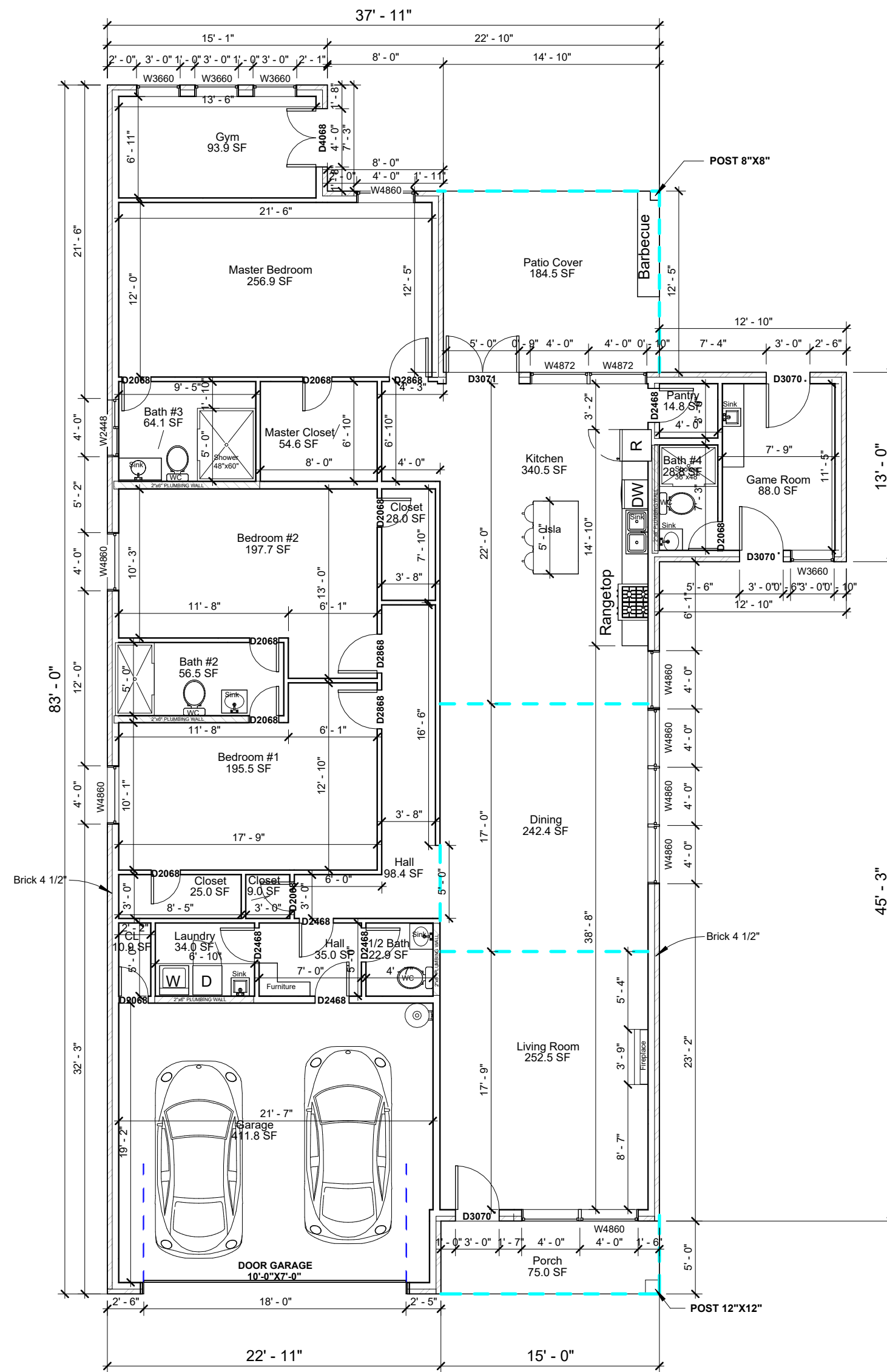
Project Name & Address
EVANS ROAD

Legal Description
LOT 1179

ELEVATIONS

Project number:
Date: 02/17/2024 Scale 1/8" = 1'-0"
Drawn by: Projects & Construction Araque

11.1

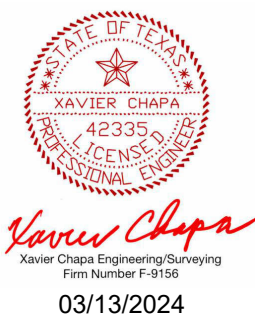


1 Floor Plan

1/8" = 1'-0"

Door Schedule				
Phase Created	Mark	Type	Width	Height
New Construction	D2068	24" x 80"	2' - 0"	6' - 8"
New Construction	D2468	28" x 80"	2' - 4"	6' - 8"
New Construction	D2868	32" x 80"	2' - 8"	6' - 8"
New Construction	D3070	36" x 84"	3' - 0"	7' - 0"
New Construction	D3071	60" x 84"	5' - 0"	7' - 0"
New Construction	D4068	48" x 80"	4' - 0"	6' - 8"
New Construction	DOOR GARAGE	108" x 84"	18' - 0"	7' - 0"
Grand total: 23				

Window Schedule				
Phase Created	Mark	Type	Height	Width
New Construction	W2448	0915 x 1220mm	2' - 0"	4' - 0"
New Construction	W3660	36"x60"	5' - 0"	3' - 0"
New Construction	W4860	48"x60"	5' - 0"	4' - 0"
New Construction	W4860	48"x60"	5' - 0"	4' - 0"
New Construction	W4868	48"x60"	5' - 0"	4' - 0"
New Construction	W4872	48"x72"	6' - 0"	4' - 0"
Grand total: 16				



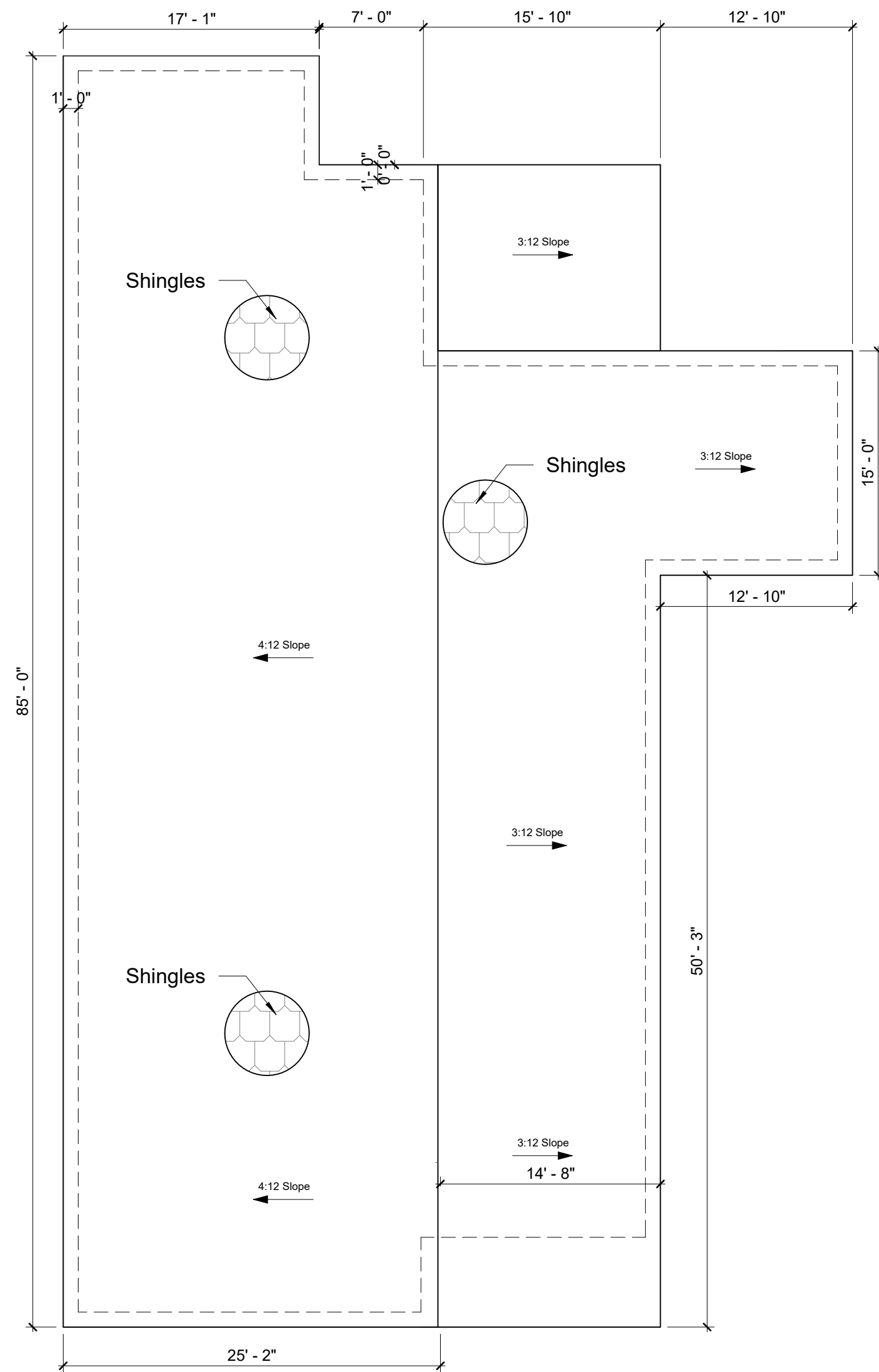
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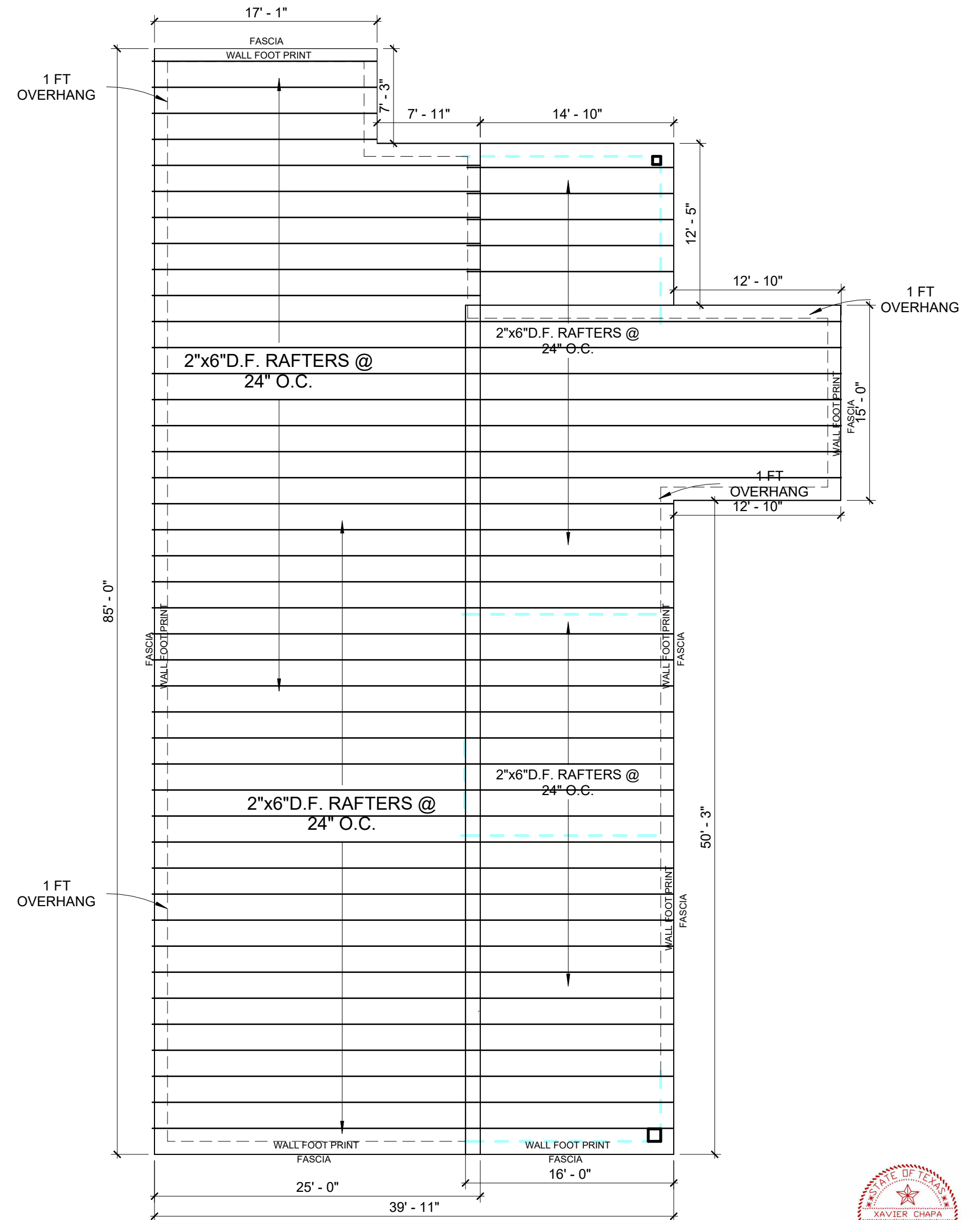
Project Name & Address
EVANS ROAD
Legal Description
LOT 1179

FLOOR PLAN

Project number:
Date: 02/17/2024 Scale 1/8" = 1'-0"
Drawn by: Projects & Construction Araque



1 Roof
1/8" = 1'-0"



2 Rafter Roof
1/8" = 1'-0"



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Project Name & Address
EVANS ROAD

Legal Description
LOT 1179

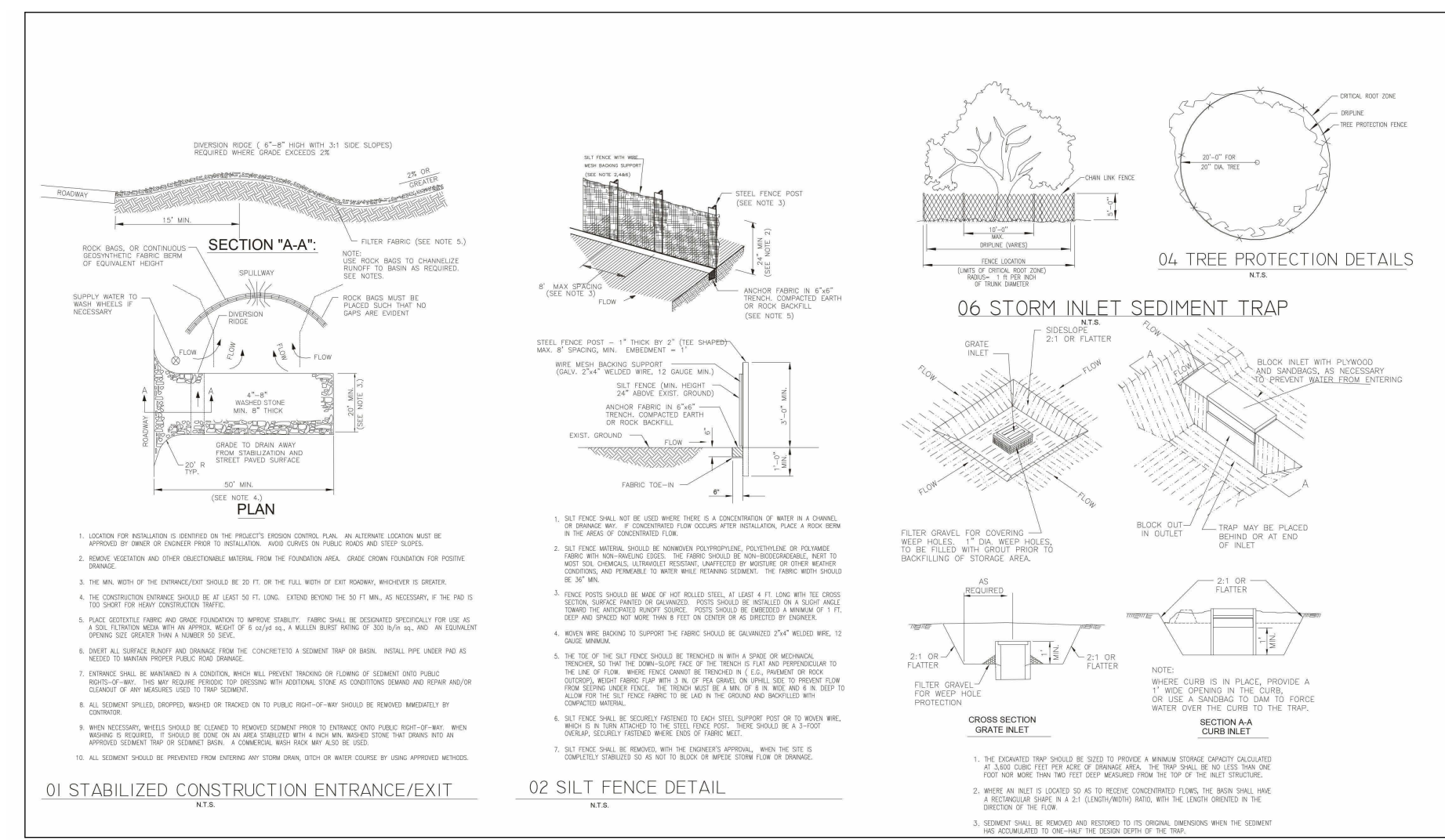
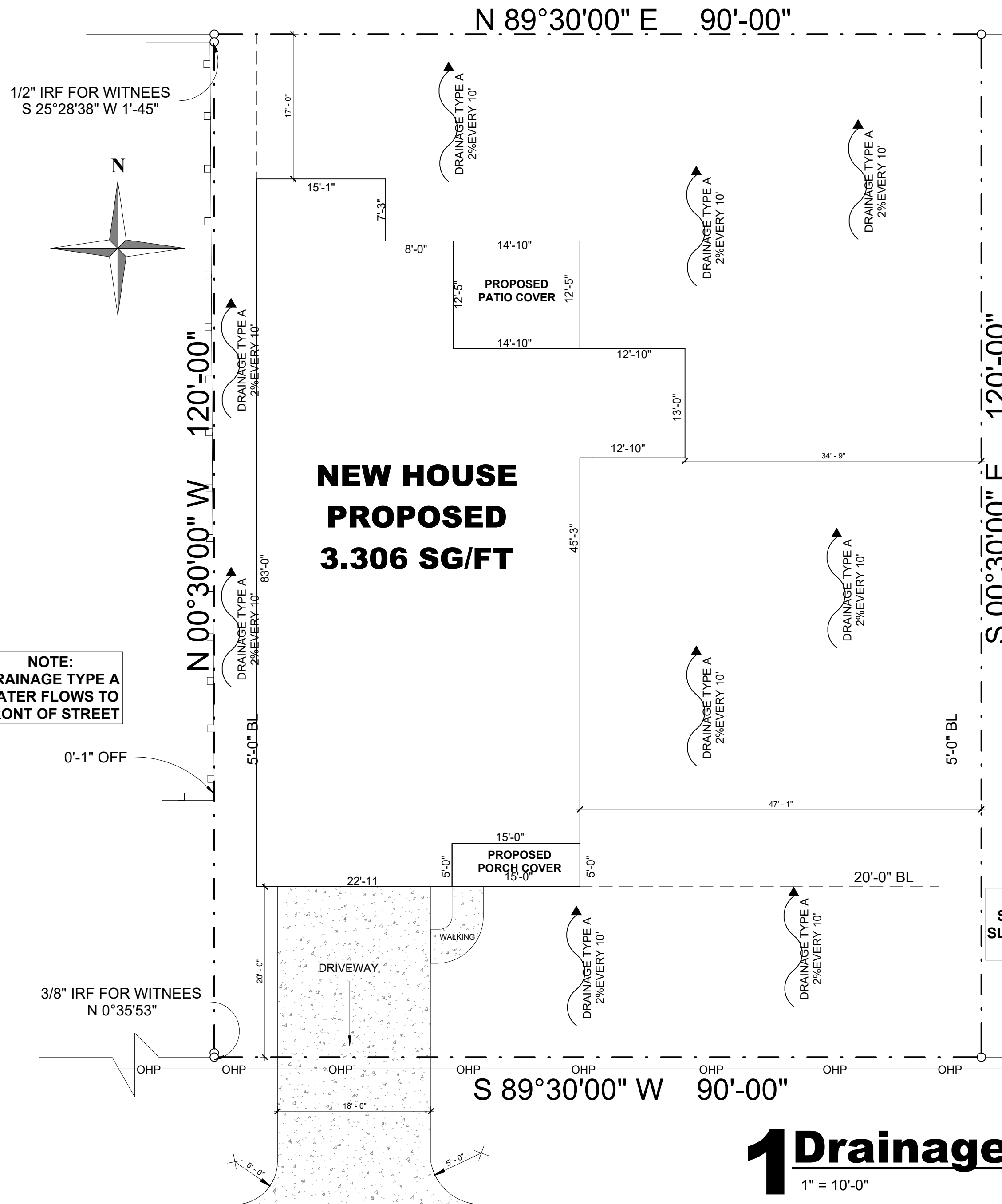
ROOF

Project number:

Date: 02/17/2024 Scale 1/8" = 1'-0"

Drawn by: Projects & Construction Araque

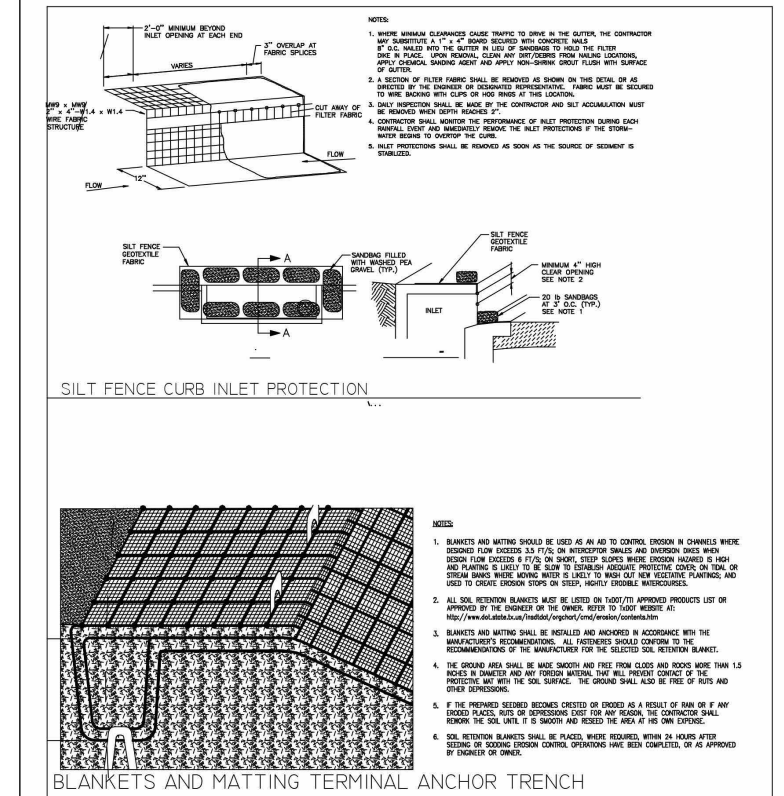
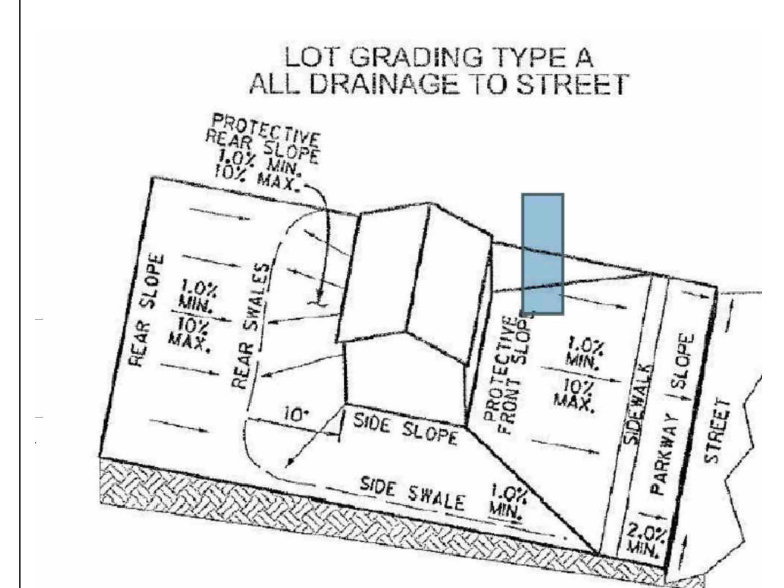
6



PROPOSED LOT DRAINAGE

Single family lots must be graded in conformance with the grading plan established for the subdivision where applicable, and should normally follow FHA lot grading patterns shown on the right. Types A and B are preferred but Type C (all drainage to rear) but a swale is required at the bottom of the yard to intercept runoff if the rear yard exceeds 2%. Runoff must be picked up in a street right-of-way or drainage easement after crossing more than two neighboring lots. Any exception to these conditions will be subject to special approval and inspections.

The lot must be graded to provide a finished floor elevation 12 above the surrounding land and crown of street, and drain away from the foundation as shown below. Final grading must provide a minimum of four (4) inches of top soil outside of the foundation and other hard surfaces, in order to sustain vegetation after construction is complete.



Drainage Plan

1" = 10'-0"

EVANS ROAD
50' R.O.W.

Project Name & Address
EVANS ROAD

Legal Description
LOT 1179

DRAINAGE PLAN

Project number:
Date: 02/17/2024 Scale 1" = 10'-0"

Drawn by: Projects & Construction Araque



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CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
302 Evans Road	Modular Home	1985	1,104	N/A	Siding
310 Evans Road	Modular Home	1999	1,856	N/A	Siding
322 Evans Road	Single-Family Home	1995	1,324	90	Siding
340 Evans Road	Vacant	N/A	N/A	N/A	N/A
358 Evans Road	Single-Family Home	1975	1,152	1350	Brick and Siding
376 Evans Road	Modular Home	1998	2,384	N/A	Siding
388 Evans Road	Modular Home	1980	1,391	90	Siding
400 Evans Road	Modular Home	1974	1,148	168	Siding
552 Russell Drive	Modular Home	2003	1,560	144	Siding
547 Wayne Drive	Modular Home	1998	1,444	400	Siding
548 Wayne Drive	Modular Home	1984	2,558	192	Siding
541 Yvonne Drive	Modular Home	2003	1,276	168	Siding
544 Yvonne Drive	Modular Home	1970	940	240	Siding
AVERAGES:		1989	1,511	316	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



302 Evans Road



310 Evans Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



322 Evans Road



340 Evans Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



358 Evans Road



376 Evans Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



388 Evans Road



400 Evans Road



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

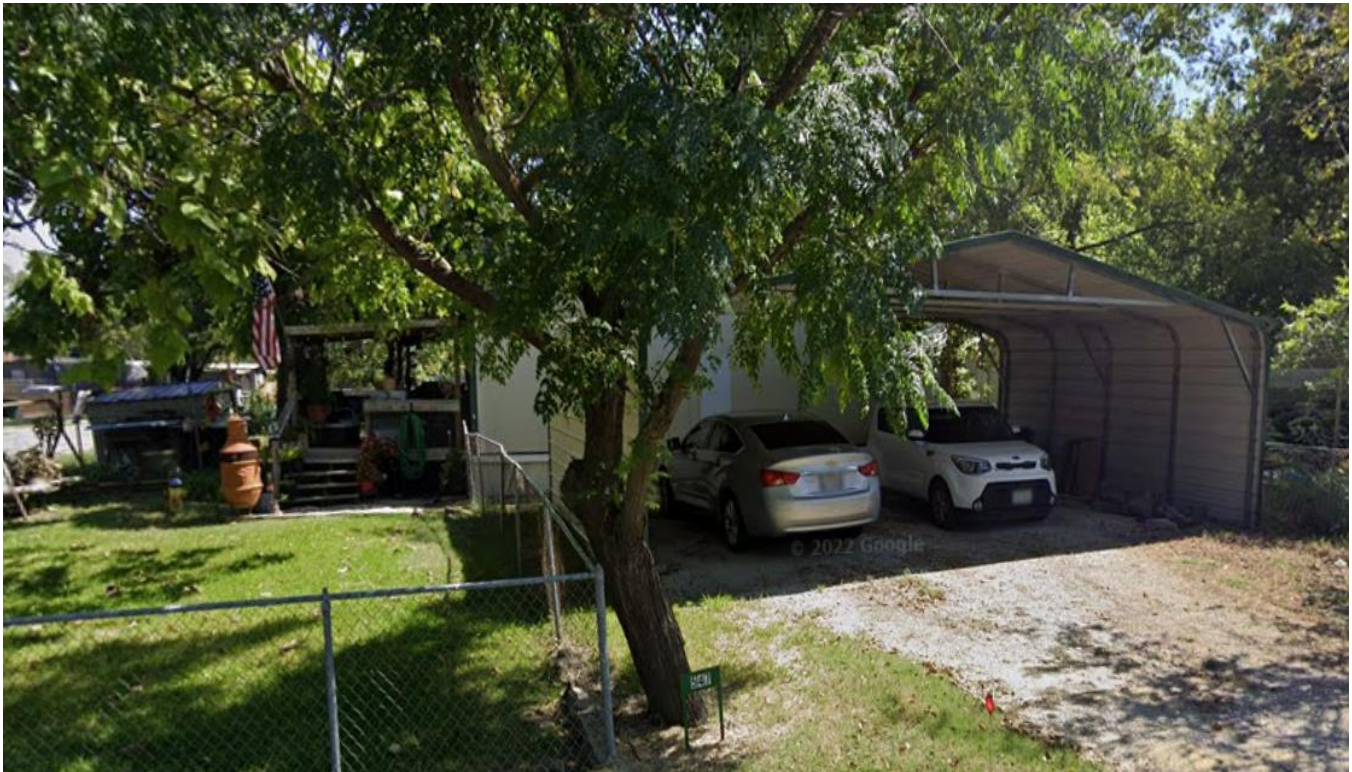
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



552 Russell Drive



547 Wayne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



548 Wayne Drive



541 Yvonne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



544 Yvonne Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1180 AND ALL OF LOT 1179 OF THE LAKE ROCKWALL ESTATES PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as a portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 340 Evans Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Planned Development District 75 (PD-75) [Ordinance No. 16-01] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'A'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'B'* of this ordinance.
- 3) The applicant shall be required to replat the subject property prior to the issuance of a Building Permit.
- 4) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and

the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6th OF MAY, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A':
Location Map and Residential Plot Plan

Address: 340 Evans Road

Legal Description: Portion of Lot 1180 and all of Lot 1179 of the Lake Rockwall Estates Phase 2 Addition

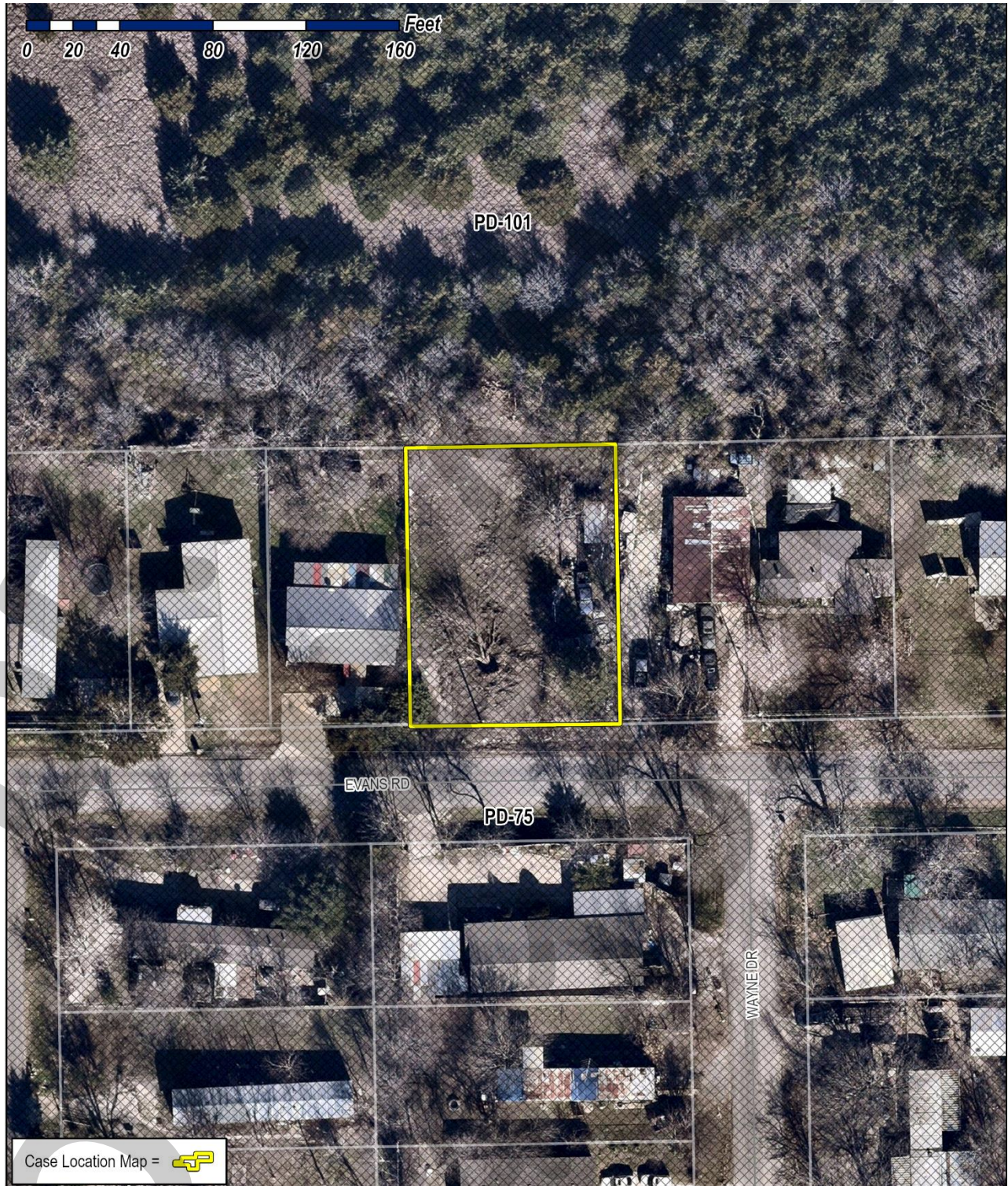
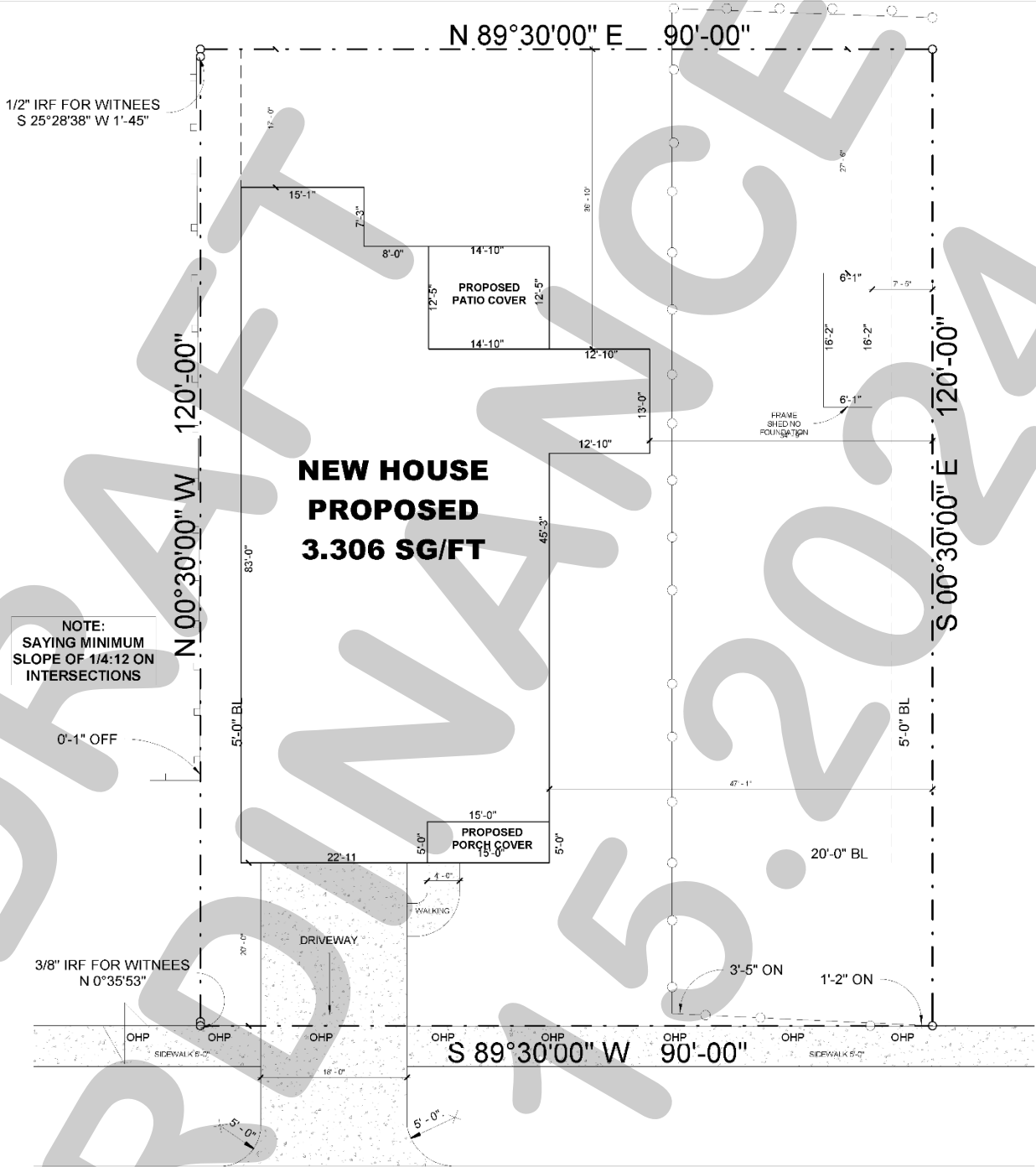


Exhibit 'A':
Location Map and Residential Plot Plan



1 Site Plan
1" = 10'-0"

EVANS ROAD
 50' R.O.W.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: April 15, 2024

APPLICANT: Barbara Lee

CASE NUMBER: Z2024-014; *Zoning Change (AG to SF-1) for 628 Cornelius Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

BACKGROUND

The subject property was annexed on December 2, 2019 by *Ordinance No. 20-03 [i.e. Case No. A2019-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to Rockwall Central Appraisal District, currently situated on the subject property is a 2,632-SF single-family home that was constructed in 2018. Also situated on the subject property is a barn (*i.e. 1350 SF*), an accessory structure (*i.e. 240 SF*), and two (2) detached carports (*i.e. 320 SF & 400 SF*) that were all constructed in 1990.

PURPOSE

On March 15, 2024, the applicant -- *Barbara Lee* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District. The applicant has indicated that the purpose of the zoning change is to establish two (2) additional single-family residential lots the will be conveyed to family members.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 628 Cornelius Road. The land uses adjacent to the subject property are as follows:

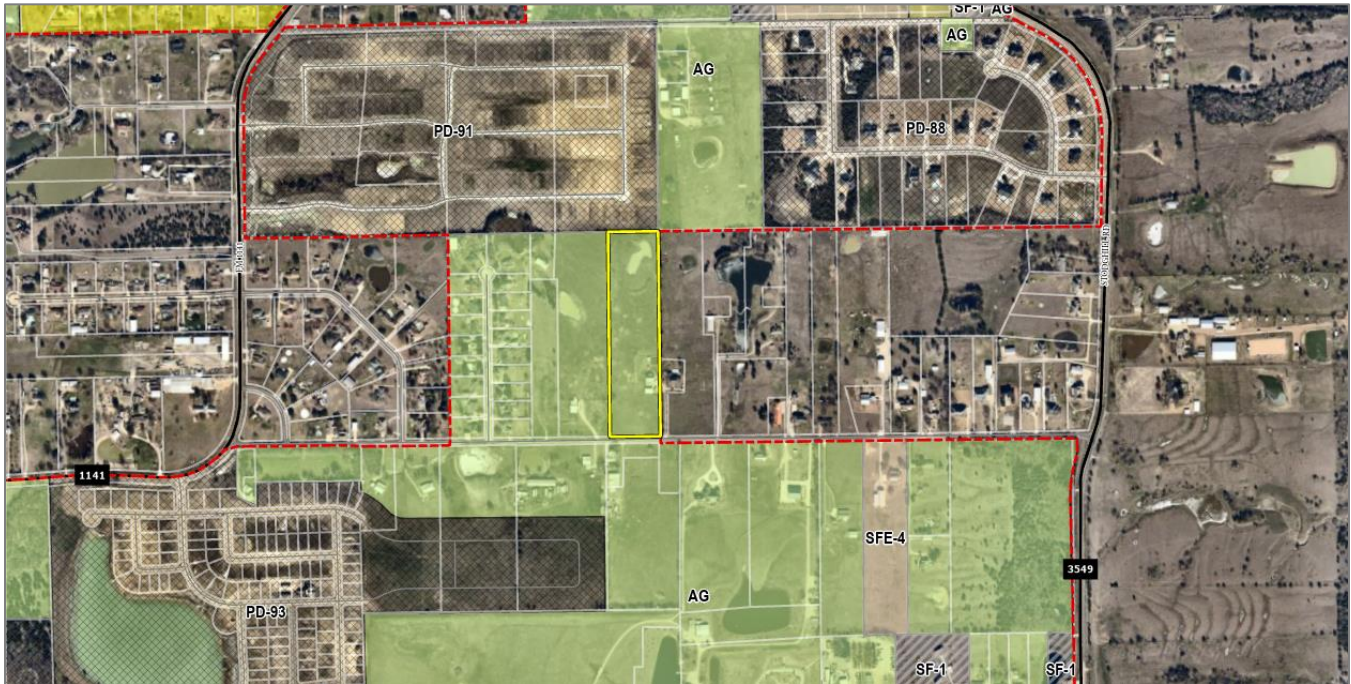
North: Directly north of the subject property is a 19.00-acre tract land of land (*i.e. Tract 22-05 of the W. M. Dalton Survey, Abstract No. 72*) zoned Planned Development District 91 (PD-91) that makes up part of the Winding Creek Subdivision. Beyond that is Clem Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is a vacant 101.43-acre tract of land (*i.e. Tract 4 of the J. M. Glass Survey, Abstract No. 88*) zoned Agricultural (AG) District.

South: Directly south of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a one (1) acre tract of land (*i.e. which is part of a larger 12.231-acre tract of land and is identified as Tract 10 of the W. M. Dalton Survey, Abstract No. 72*). Beyond this is a vacant 10.231-acre tract of land (*i.e. Tract 10-01, of the W. M. Dalton Survey, Abstract 72*). South of this is a 55.08-acre tract of land (*i.e. Tract 11 of the W. M. Dalton Survey, Abstract No. 72*), which consists of one (1) single-family home. All of these properties are zoned Agricultural (AG) District.

East: Directly east of the subject property is the boundary for the city limits of the City of Rockwall. Beyond this, there are multiple residential properties situated within the City's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is a 10.00-acre tract of land (i.e. Tract 22-02 of the W. M. Dalton Survey, Abstract No. 72), which belongs to the Rockwall RV Park and Tiny Home Village. Beyond this is a 4.00-acre tract of vacant land (i.e. Tract 22-07 of the W.M. Dalton Survey, Abstract No. 72). West of this is the Maytona Ranch Estates Subdivision, which was established on September 26, 1983, consists of 19 residential lots, and is 100% developed. All of these properties are zoned Agricultural (AG) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the ten (10) acre parcel of land from an Agricultural (AG) District to a Single-Family 1 (SF-1) District. The applicant has stated that if approved, it would be her intent to subdivide the property into three (3) parcels of land for the purpose of keeping the parcel with the existing single-family home, and conveying the other two (2) parcels to family members for two (2) new single-family homes. It should be noted, that if this zoning change is approved, any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Single-Family 1 (SF-1) District.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 05.02, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Single-Family 1 (SF-1) District is the property zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... [and] is also intended to be used for developments that incorporate public/private parks, denominational and private schools, and churches that are essential in creating the basic neighborhood unit.” In this case, the properties along Cornelius Road that are adjacent to the subject property are zoned Agricultural (AG) District, and are typically greater than one (1) acre. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant’s zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family 1 (SF-1) District, which are summarized as follows:

TABLE 1: SINGLE -FAMILY 1 (SF-1) DISTRICT STANDARDS

DWELLING UNITS/LOT	1.0
DWELLING UNITS/ACRE ⁽¹⁾	1.0
MINIMUM DWELLING UNIT SIZE	2,500
MINIMUM LOT AREA	8,400 SF
MINIMUM LOT WIDTH ⁽²⁾	70'

MINIMUM LOT DEPTH	100'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK ⁽³⁾	6'
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS	10'
MAXIMUM BUILDING HEIGHT	36'
MAXIMUM LOT COVERAGE	45.00%
MINIMUM REQUIRED PARKING SPACES ^{(4) & (5)}	2

NOTES:

- 1: THE SINGLE-FAMILY 1 (SF-1)
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 5: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential (LDR) land uses. The Northeast Residential District is defined as being "...characterized by its established low-density residential subdivisions and rural/estate style lots... (t)he Northeast Residential District being mostly an established residential district, is not anticipated to change or transition." With this being said, most properties with single-family homes along Cornelius Road are situated on larger tracts of land. Based on this, the proposed zoning change conforms to the District Strategies which state that "...the maintenance of the Estate and Rural Residential housing types are important to balancing the diversity of suburban lots to large lot housing within the City." The applicant request also conforms to this strategy given that this district requires a minimum of 1-acre lots. In addition, the Land Use Plan defines the Low Density Residential land use as a "...land use category [*that*] consists of residential subdivisions that are two (2) units per gross acre or less ...". In this case, the applicant is requesting a density of one (1) dwelling unit per acre. Based on this, the applicant's request appears to be in substantial conformance with the OURHometown Vision 2040 Comprehensive Plan.

INFRASTRUCTURE

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for the development of the subject property:

- (1) Roadways. At the time of subdivision plat, the developer shall be required to verify and dedicate right-of-way to be 42.50' from the centerline of Cornelius Road in accordance with the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- (2) Water. The existing single-family home currently situated on the subject property is utilizing Mount Zion Water Supply. An Infrastructure Study might be needed if the proposed lots want to tie in with the City of Rockwall water lines.
- (3) Wastewater. Given that the existing single-family home on the subject property already has an OSSF or septic system, staff should note that the two (2) proposed lots may want to utilize On-Site Sewage Facilities (OSSF) or septic systems as well. According to Section 44-243 of Chapter 44, Utilities, of the Municipal Code of Ordinances, "(n)o permit for an on-site sewage facility (OSSF) will be issued if the location is within 100-feet of an existing city sanitary sewer line unless an exception is granted by the City Council on the grounds that connection with the sanitary sewer is impossible ...", and "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property less than 1½-acre..." In this case, the sewer system for the Winding Creek Subdivision is located more than 100-feet from the proposed lots. In addition, all of the proposed lots are 1½-acre in size. Based on this, the proposed lots are eligible for On-Site Sewage Facilities (OSSF) or septic systems, and no further public hearing or approval is required.
- (4) Drainage. Detention may be required for the newly proposed lots.

NOTIFICATIONS

On March 22, 2024, staff notified 32 property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Zoning Change by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 628 CORNELIUS ROAD

SUBDIVISION 10.02 ACRES W. DALTON A-72 LOT --- BLOCK ---

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE RESIDENTIAL/AGRICULTURE

PROPOSED ZONING

PROPOSED USE

ACREAGE 10.02 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER BARBARA LEE

APPLICANT SAME

CONTACT PERSON

CONTACT PERSON

ADDRESS 628 CORNELIUS RD

ADDRESS

CITY, STATE & ZIP ROCKWALL TX 75087

CITY, STATE & ZIP

PHONE 214-641-9876

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BARBARA LEE [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

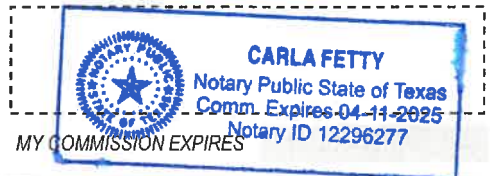
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 350.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF March, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

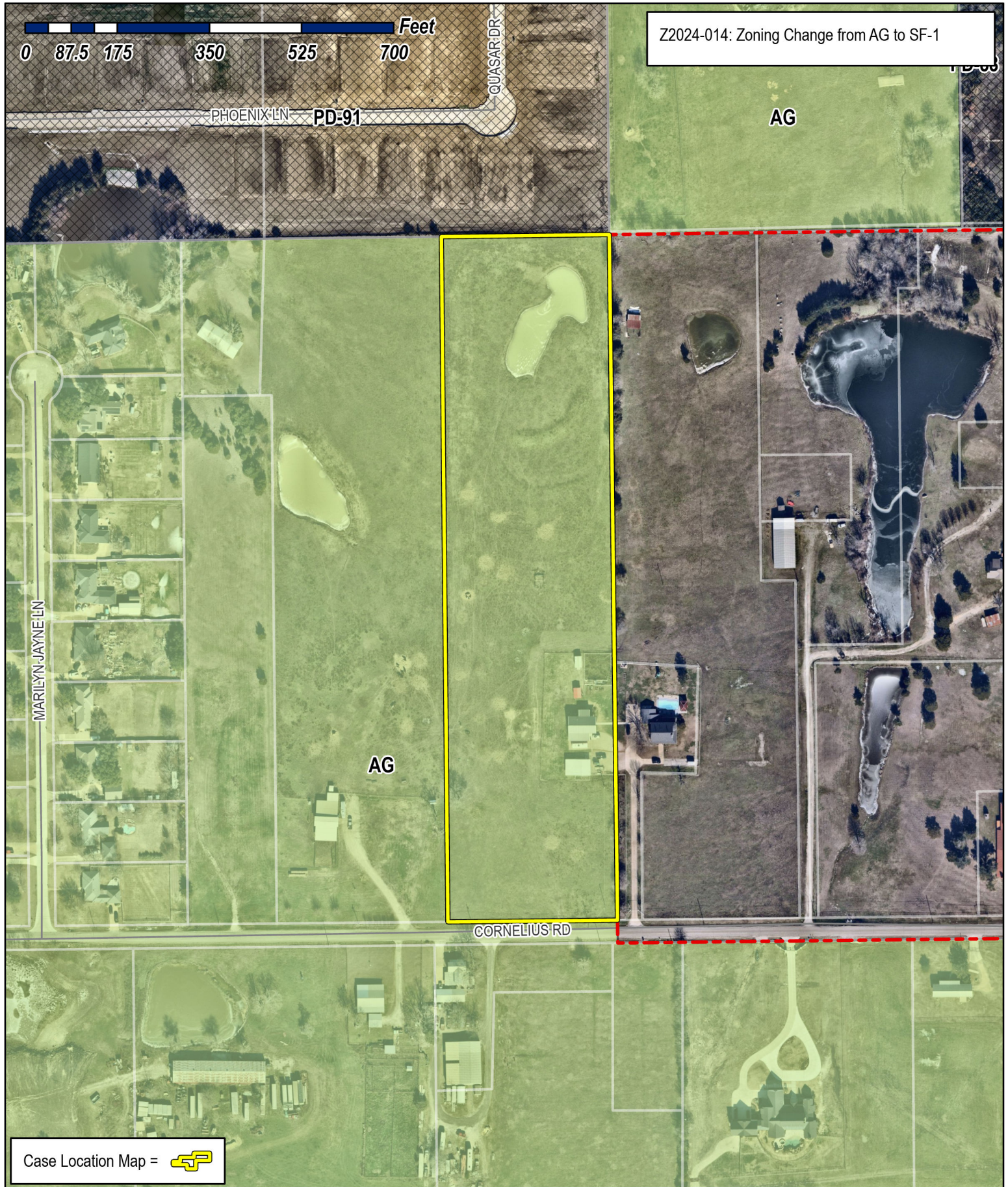
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF MARCH, 2024

OWNER'S SIGNATURE


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Barbara Lee





Z2024-014: Zoning Change from AG to SF-1

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

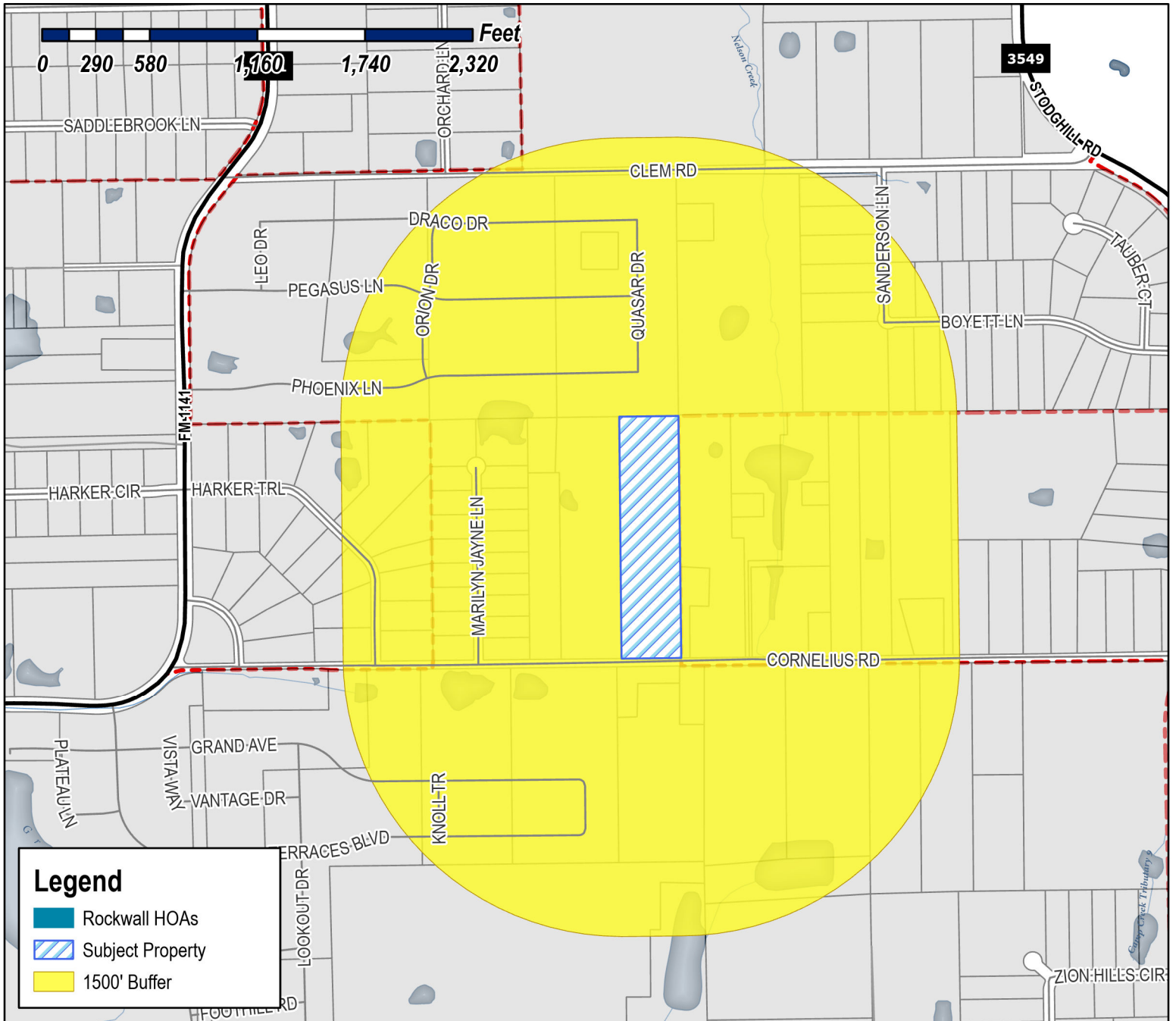




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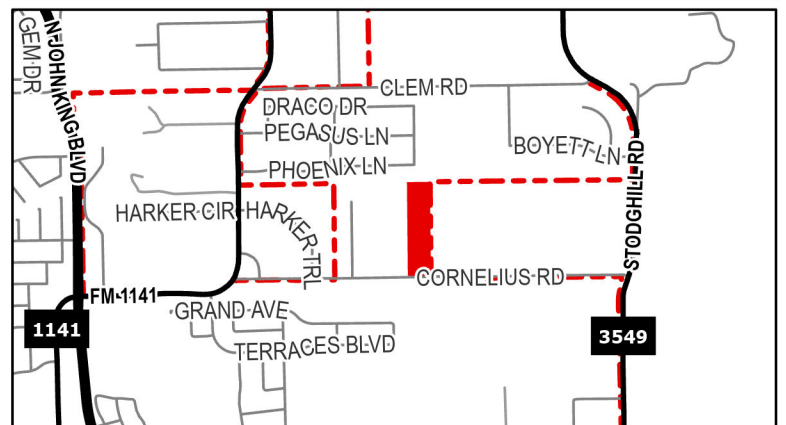


Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2024-014
Case Name: Zoning Change from AG to SF-1 for
Case Type: 628 Cornelius Road
 Zoning
Zoning: Agricultural (AG)
Case Address: 628 Cornelius Road

Date Saved: 3/15/2024
 For Questions on this Case Call (972) 771-7745

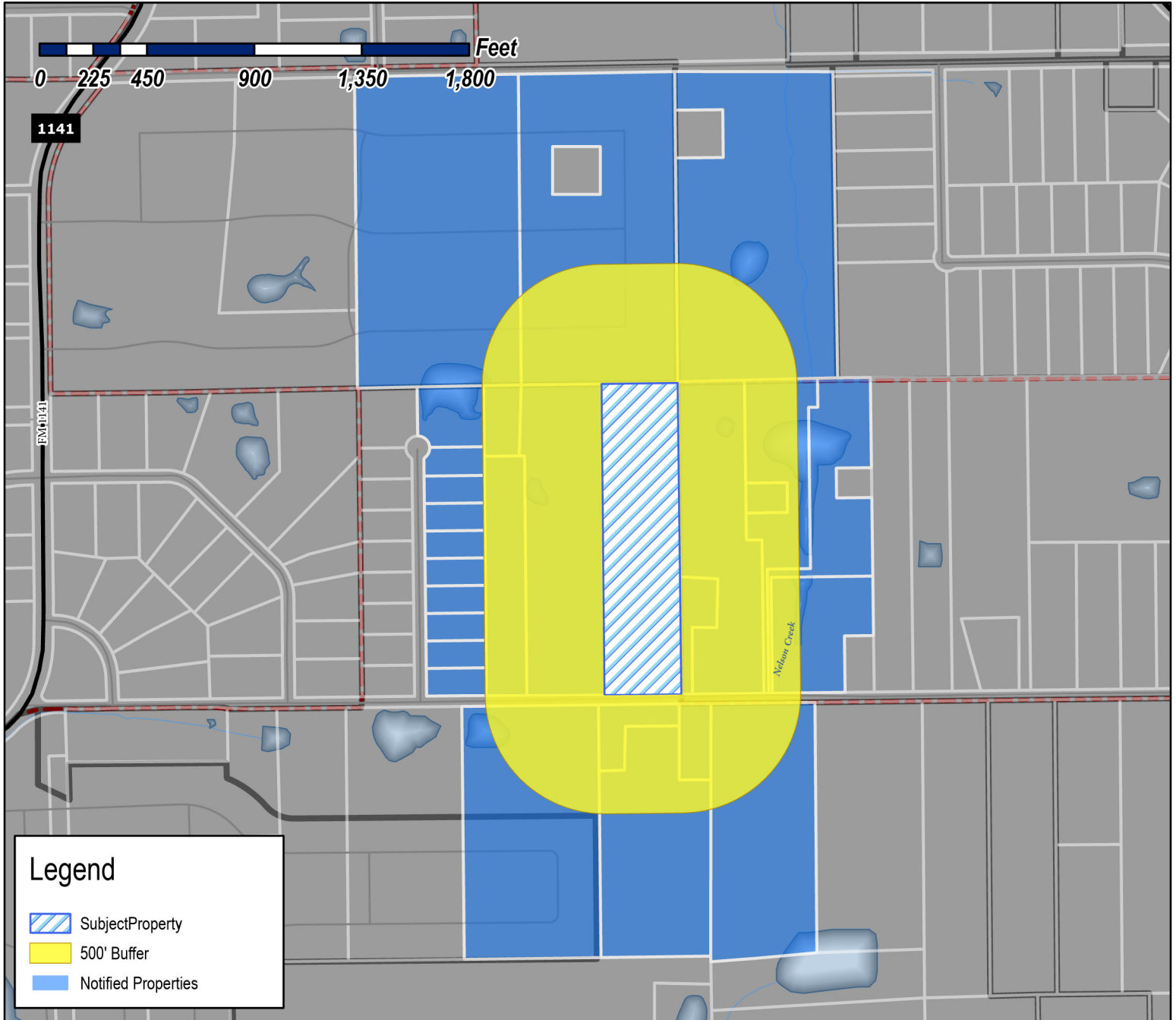




City of Rockwall

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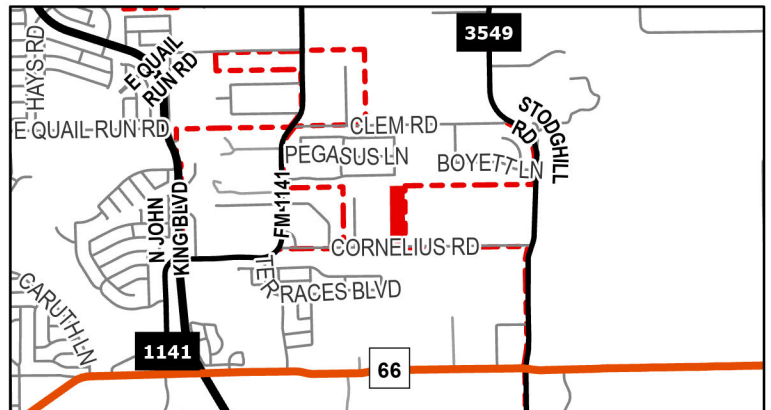
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Case Number: Z2024-014
Case Name: Zoning Change from AG to SF-1 for 628 Cornelius Road
Case Type: Zoning
Zoning: Agricultural (AG)
Case Address: 628 Cornelius Road

Date Saved: 3/15/2024

For Questions on this Case Call: (972) 771-7746



THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

RODRIGUEZ CONRADO JR
1208 MARILYN JAYNE DR
ROCKWALL, TX 75087

EMRA JOHN AND SHERYL AND
PAUL AND KATIE EMRA
1210 MARILYN JAYNE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
1212 MAYILYN JAYNE LN
ROCKWALL, TX 75087

RESIDENT
1214 MARILYN JAYNE LN
ROCKWALL, TX 75087

COUCH MITCHELL E AND PATRICIA M
1216 MARILYN JAYNE DR
ROCKWALL, TX 75087

MENDOZA ROBERT E AND SANDRA J WILKINS
1218 MARILYN JAYNE DR
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET
151 STEVENSON DR
FATE, TX 75087

MCCALLUM CRAIG WILLIAM
1983 N STODGHILL RD
ROCKWALL, TX 75087

COMBS TERRY G & RONNA T
2008 E COLLINS BLVD
RICHARDSON, TX 75081

ROCKWALL RV PARK AND TINY HOME VILLAGE
3094 COUNTY ROAD 1024
FARMERSVILLE, TX 75442

RESIDENT
427 CLEM RD
ROCKWALL, TX 75087

RESIDENT
505 CLEM RD
ROCKWALL, TX 75087

RESIDENT
520 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
555 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
588 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

RESIDENT
611 CLEM RD
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA
628 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
657 CORNELIUS RD
ROCKWALL, TX 75087

PEWITT RONNY M AND JENNIFER L
668 CORNELIUS ROAD
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN
701 CORNELIUS RD
ROCKWALL, TX 75087

JONES DANIEL AND ALINA
722 CORNELIUS RD
ROCKWALL, TX 75087

LITTERELL KENNIE LLOYD
798 CORNELIUS RD
ROCKWALL, TX 75087

FALCON PLACE SF LTD
8214 WESTCHESTER DRIVE SUITE 900
DALLAS, TX 75225

RESIDENT
839 CORNELIUS RD
ROCKWALL, TX 75087

SOUTHALL MARK P & KATHY L
P. O. BOX 2214
ROCKWALL, TX 75087

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-014: Zoning Change from AG to SF-1

Hold a public hearing to discuss and consider a request by Barbara Lee for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a ten (10) acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-014: Zoning Change from AG to SF-1

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



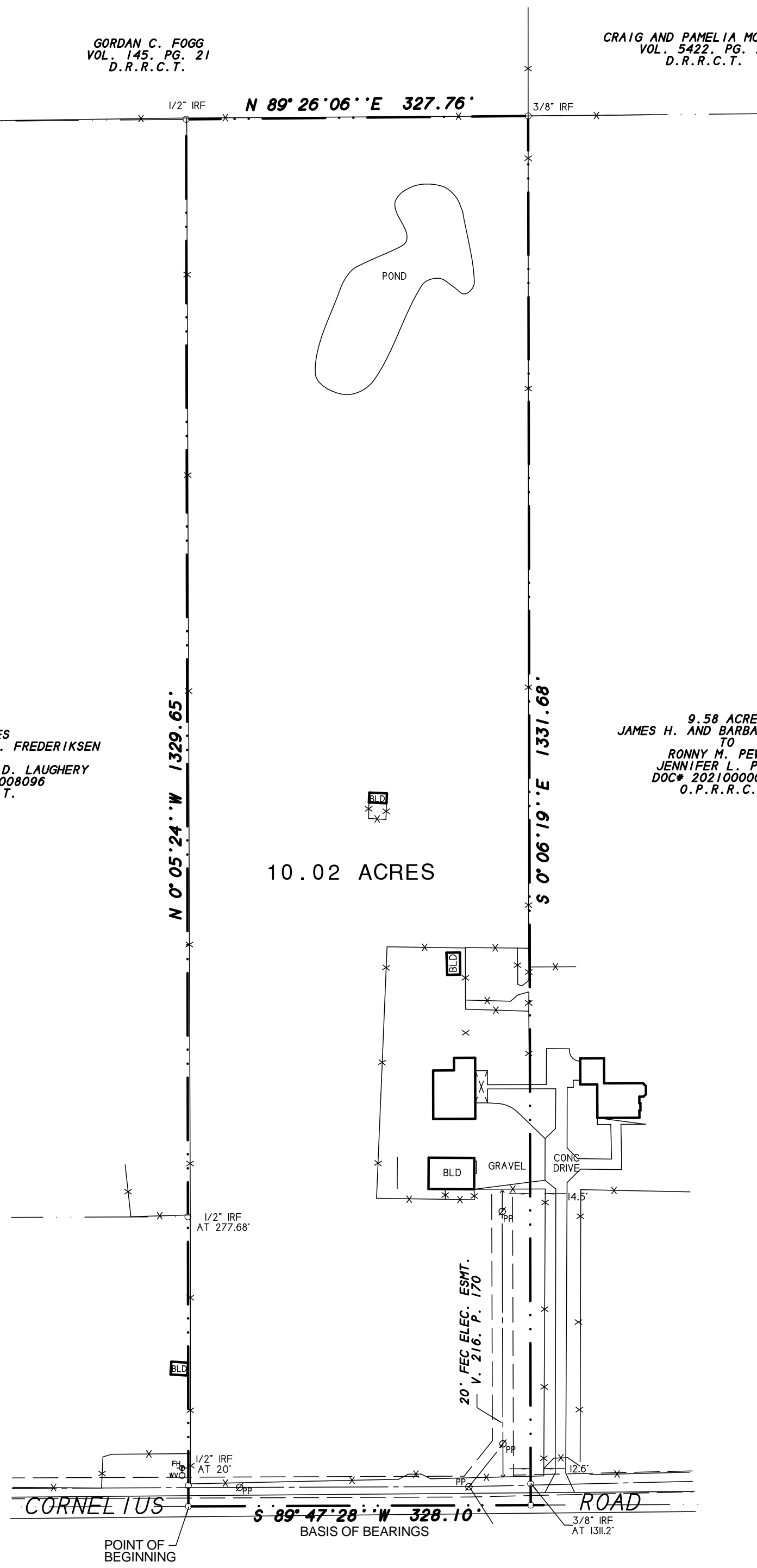
GORDAN C. FOGG
VOL. 145, PG. 21
D.R.R.C.T.

CRAIG AND PAMELIA MCCALLUM
VOL. 5422, PG. 28
D.R.R.C.T.

9.97 ACRES
JOHN C. AND ARLENE C. FREDRIKSEN
TO
MARC J. AND TRACEY D. LAUGHERY
DOC# 2015000008096
O.P.R.R.C.T.

9.58 ACRES
JAMES H. AND BARBARA P. LEE
TO
RONNY M. PEWITT
JENNIFER L. PEWITT
DOC# 2021000003975
O.P.R.R.C.T.

10.02 ACRES



DESCRIPTION

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, Rockwall County, Texas, and being all of a called 10.00 acres tract of land as described in a Warranty deed from Joseph E. Cook and Kerri A. Cook to William Edward Powers and Nancy Freeman Powers, dated July 17, 2015 and being recorded in Document No. 20150000011248 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for corner in Cornelius Road, said point being at the southwest corner of said Powers tract and at the southeast corner of a 9.97 acres tract of land as described in a Warranty deed from John C. Fredriksen and Arlene C. Fredriksen to Marc J. Laughrey and Tracey D. Laughrey, as recorded in Document no. 2015000008096 of the Official Public Records of Rockwall County, Texas;

THENCE N. 00 deg. 05 min. 24 sec. W., at 20.00 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 1329.65 feet to a 1/2" iron rod found for corner at the northeast corner of said 9.97 acres tract of land;

THENCE N. 89 deg. 26 min. 06 sec. E. a distance of 327.76 feet to a 3/8" iron rod found for corner at the northeast corner of said Powers tract and the northwest corner of a 9.58 acres tract of land as described in a Warranty deed from William E. Powers and Nancy F. Powers to James H. Lee and Barbara P. Lee, as recorded in Document no. 20170000013220 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 06 min. 19 sec. E. along the west boundary line of said 9.58 acres tract, at 1311.20 feet pass a 3/8" iron rod found for witness and continuing for a total distance of 1331.68 feet to a point in the center of Cornelius Road;

THENCE S. 89 deg. 47 min. 28 sec. W. along the center of said road, a distance of 328.10 feet to the POINT OF BEGINNING and containing 10.02 acres of land, of which 0.22 acres lies within Cornelius Road.

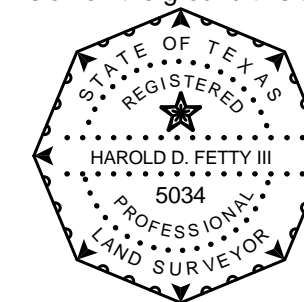
NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PER DEED IN DOC# 20150000011248, O.P.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Capital Title Company, Integrity Mortgage Corp. of Texas, James H Lee III and Barbara P Lee at Cornelius Road, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 11th day of August, 2017.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND	
TV	TELEVISION CABLE WIRE
⊕	GAS METER
⊗	TEL. METER
⊙	FIRE HYDRANT
⊚	POWER POLE
⊛	PHONE POLE
⊜	LP
⊝	1/2" IRON ROD FOUND
⊞	3/8" IRON ROD FOUND
⊠	1" CORNER
⊡	BLD.
⊢	ELEC. BODY
⊣	ELEC. SUBSURFACE JUNCTION BOX
⊤	WATER METER
⊥	LIGHT POLE
⊦	CONCRETE DRIVE
⊧	GRAVEL
⊨	POLE
⊩	EXISTENT LINE
⊪	PROPOSED LINE
⊫	PROPOSED FENCE
⊬	PROPOSED FENCE

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY ACCEPTED BY:

DATE _____

DATE _____

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LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 1 (SF-1) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Private Horse Corral or Stable	(10)	(6)	S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A

LEGEND:

	Land Use <i>NOT</i> Permitted
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S	Land Use Permitted Specific Use Permit (SUP)
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PERMITTED LAND USES IN AN SINGLE FAMILY 1 (SF-1) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY 1 (SF-1) DISTRICT
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S



SUBSECTION 07.01: RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

ZONING DISTRICTS → DEVELOPMENT STANDARDS ↓		SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	SINGLE-FAMILY 1 (SF-1) DISTRICT	SINGLE-FAMILY 16 (SF-16) DISTRICT	SINGLE-FAMILY 10 (SF-10) DISTRICT	SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT	SINGLE-FAMILY 7 (SF-7) DISTRICT	ZERO LOT LINE (ZL-5) DISTRICT	TWO-FAMILY (2F) DISTRICT	AGRICULTURAL (AG) DISTRICT
ABBREVIATION		SFE-1.5	SFE-2.0	SFE-4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
DWELLING UNITS/LOT		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	1.0
DWELLING UNITS/ACRE		0.67	0.5	0.25	1.0 ¹	2.7	4.4	5.2	6.2	8.7	12.4	0.1 ¹¹
MINIMUM DWELLING UNIT (SF)		2,000	2,200	2,500	2,500	2,400	2,200	1,500	1,100	1,000	800	1,600
MINIMUM LOT REQUIREMENTS	AREA (SQUARE FEET)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	WIDTH (FEET) ²	150	150	200	70	90	80	70	60	50	60	100
	DEPTH (FEET)	250	250	250	100	100	100	100	100	90	100	200
MINIMUM SETBACKS	FRONT (FEET)	50	50	50	20	25	20	20	20	20	20	40
	REAR (FEET)	10	10	10	10	10	10	10	10	10	10	10
	SIDE (FEET) ³	25	25	25	6	8	6	6	6	0 10 ⁴	0 ⁵ 6 ⁶	6
BETWEEN BUILDINGS (FEET)		10	10	10	10	10	10	10	10	10	10	12
BUILDING HEIGHT (FEET)		36	36	36	36	36	36	36	32	30	32	36
MAXIMUM LOT COVERAGE (%)		35	35	35	45	45	45	45	45	50	45	N/A
REQUIRED PARKING SPACES ⁷		2 ⁸	2 ⁸	2 ⁸	2 ⁹	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁹	2 ¹⁰	2 ⁸

ADDITIONAL REQUIREMENTS:

- 1: THE SINGLE FAMILY 1 (SF-1) DISTRICT ALLOWS FOR ONE (1) UNIT PER GROSS ACRE.
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM MAINTENANCE EASEMENT IS TEN (10) FEET. MINIMUM MAINTENANCE EASEMENT ON THE NON-ZERO LOT LINE SIDE, WHEN ADJACENT TO ANOTHER LOT IN THE SAME ZONING DISTRICT IS FIVE (5) FEET (THIS EASEMENT SHALL BE MAINTAINED AS AN OPEN SPACE EXCEPT UPON A FINDING BY THE BUILDING OFFICIAL THAT THE PROPOSED IMPROVEMENTS DO NOT IMPEDE THE USE OF SAID EASEMENT FOR MAINTENANCE OF THE ADJOINING STRUCTURE).
- 5: ABUTTING STRUCTURES SEPARATED BY FIRE RETARDANT WALLS.
- 6: TOWNHOUSES SEPARATED BY FIREWALL MEETING THE REQUIREMENTS OF THE BUILDING CODE MAY BUILD TO THE PROPERTY LINE WHERE SUCH STRUCTURES ABUT.
- 7: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 8: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS. FOR ALL OTHER USES SEE ARTICLE 06, PARKING AND LOADING.
- 9: A TWO (2) CAR GARAGE IS REQUIRED.
- 10: TWO (2) OFF-STREET PARKING SPACES PLUS ONE (1) GARAGE PARKING SPACE FOR EACH DWELLING UNIT IS REQUIRED.
- 11: A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF ANY SINGLE-FAMILY DWELLING.

11 NORTHEAST RESIDENTIAL DISTRICT

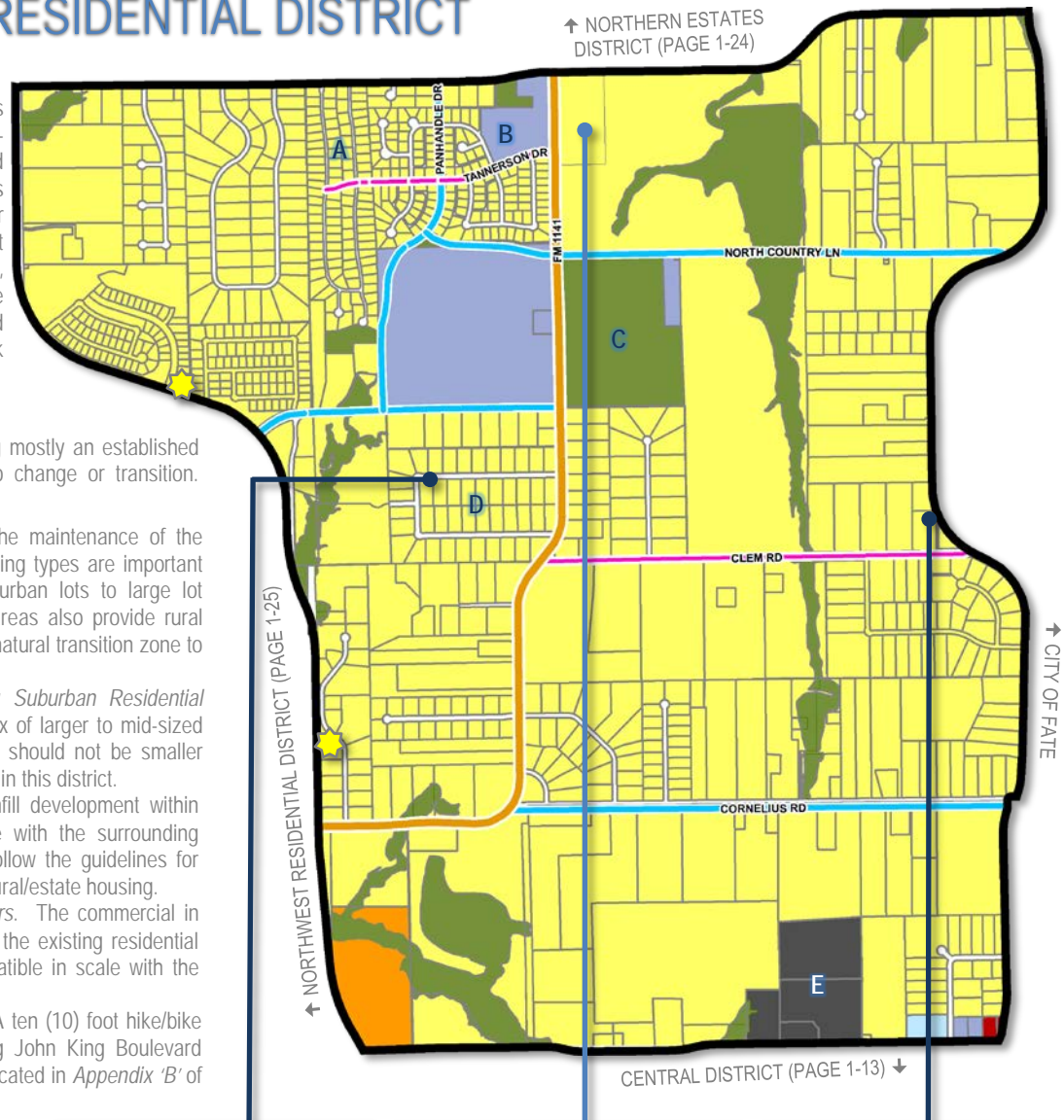
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential

BUILD OUT 1,964

BUILD OUT 5,794

% OF ROCKWALL 3.13%

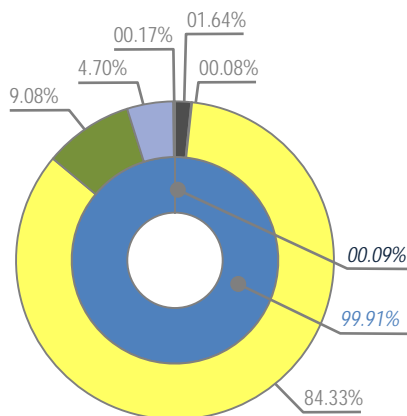
% OF ROCKWALL 0.99%

% OF ROCKWALL 3.10%

CURRENT 625

CURRENT 18

CURRENT 1,844



MINOR COLLECTOR	0.00%
M4U	0.01%
M4D	0.01%
COMMERCIAL	0.09%
RESIDENTIAL	99.91%
MIXED USE	0.00%
CEMETERY (CEM)	32.34-ACRES
COMMERCIAL/RETAIL (CR)	1.52-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
PARKS AND OPEN SPACE (OS)	178.54-ACRES
PUBLIC (P)	92.45-ACRES
QUASI-PUBLIC (QP)	3.25-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A 10.00-ACRE TRACT OF LAND IDENTIFIED AS TRACT 22-01 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Barbara Lee for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a 10.00-acre tract of land identified as Tract 22-01 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 628 Cornelius Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family 1 (SF-1) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 1 (SF-1) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards* and Section 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MAY, 2024.

Trace Johannessen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Legal Description

All that certain lot, tract or parcel of land situated in the WILLIAM DALTON SURVEY, ABSTRACT NO. 72, Rockwall County, Texas, and being all of a called 10.00 acres tract of land as described in a Warranty deed from Joseph E. Cook and Kerri A. Cook to William Edward Powers and Nancy Freeman Powers, dated July 17, 2015 and being recorded in Document No. 20150000011248 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

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THENCE N. 89 deg. 26 min. 06 sec. E. a distance of 327.76 feet to a 3/8" iron rod found for corner at the northeast corner of said Powers tract and the northwest corner of a 9.58 acres tract of land as described in a Warranty deed from William E. Powers and Nancy F. Powers to James H. Lee and Barbara P. Lee, as recorded in Document no. 20170000013220 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 06 min. 19 sec. E. along the west boundary line of said 9.58 acres tract, at 1311.20 feet pass a 3/8" iron rod found for witness and continuing for a total distance of 1331.68 feet to a point in the center of Cornelius Road;

THENCE S. 89 deg. 47 min. 28 sec. W. along the center of said road, a distance of 328.10 feet to the POINT OF BEGINNING and containing 10.02 acres of land, of which 0.22 acres lies within Cornelius Road.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: April 15, 2024

APPLICANT: Ryan Joyce; *Michael Joyce Properties*

CASE NUMBER: Z2024-015; *Zoning Change (AG to SFE-1.5) for 291, 333, & 555 Cornelius Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on January 4, 2010 by *Ordinance No. 10-01 [Case No. A2009-005]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On December 6, 2021, the City Council adopted *Ordinance No. 21-58 [Case No. Z2021-047; S-265]* allowing an *Animal Shelter or Loafing Shed* on a portion of the subject property (*i.e. 555 Cornelius Road*). On September 6, 2022 a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72 were rezoned to Planned Development District 93 (PD-93) [*Case No. Z2022-038; Ordinance No. 22-47*] for the purpose of incorporating this land into the Terraces Subdivision. The remainder of the subject property remained unchanged and zoned Agricultural (AG) District.

According to the Rockwall Central Appraisal District (RCAD) the following improvements currently exist on the subject property:

- (1) 291 Cornelius Road. A 1,732 SF single-family home was constructed in 1960, two (2) covered porches (*i.e. 676 SF and 560 SF*) were constructed in 1960, and a 256 SF detached carport was constructed in 2006.
- (2) 333 Cornelius Road. A 1,584 SF single-family home was constructed in 1989, a 648 SF attached garage was constructed in 1989, two (2) covered porches (*i.e. 670 SF and 614 SF*) were constructed in 1989, and a 504 SF detached carport was constructed in 2012.
- (3) 555 Cornelius Road. A 1,750 SF single-family home was constructed in 1960, two (2) covered porches (*i.e. 400 SF and 300 SF*) were constructed in 1960, a 360 SF barn with a 330 SF canopy was constructed in 1973, a 7,040 SF barn was constructed in 1985, and a 256 SF storage building was constructed in 2012.

Staff should note -- *that concurrently with this zoning request* -- a subdivision plat [*Case No. P2024-009*] was submitted, which would establish the lots contained within this proposed zoning change. As a condition of approval for this subdivision plat, this zoning case would need to be approved. This means that if the subdivision plat is approved by the City Council, the plat will not be considered fully approved and be able to be recorded with Rockwall County until after the anticipated second reading of the proposed zoning ordinance on May 6, 2024. Should the City Council deny this zoning case, the subsequent conditional approval of the subdivision plat would no longer be valid.

PURPOSE

On March 15, 2024, the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for the purpose of establishing eight (8) single-family residential lots.

ADJACENT LAND USES AND ACCESS

The subject property is addressed 291, 333 & 555 Cornelius Road. The land uses adjacent to the subject property are as follows:

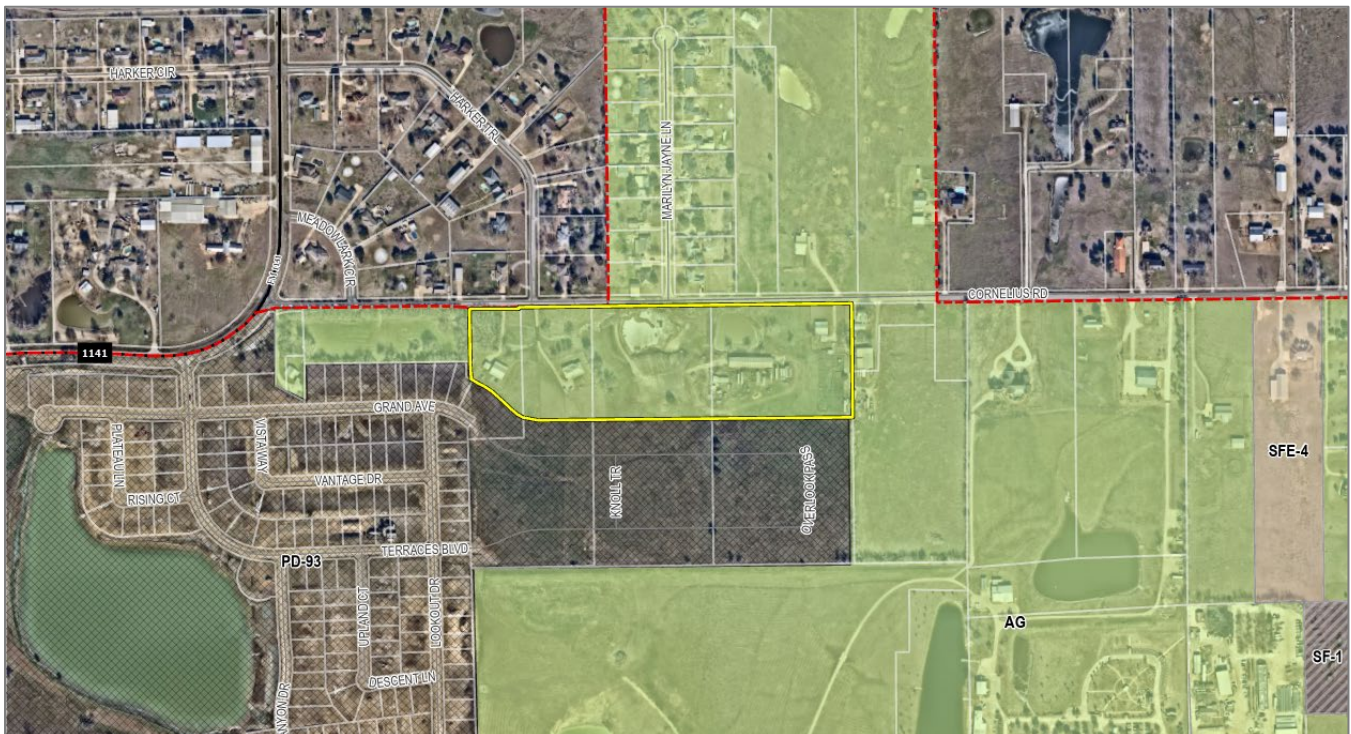
North: Directly north of the subject property is Cornelius Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Maytona Ranch Estates Subdivision, which was established on September 26, 1983 and consists of 19 single-family residential lots. This subdivision is zoned Agricultural (AG) District. Also, beyond Cornelius Road is the corporate limits of the City of Rockwall, followed by the Meadowview Ranch Estates Subdivision. This subdivision was established on February 22, 1977, consists of 24 single-family residential lots, and is situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

South: Directly south of the subject property is Phase 2 of the Terraces Subdivision, which is zoned Planned Development District 93 (PD-93) and will consist of 82 single-family residential lots. Beyond this is a 55.08-acre tract of land (*i.e. Tract 11 of the W. M. Dalton Survey, Abstract No. 72*), which is currently being utilized for agricultural purposes. This property is zoned Agricultural (AG) District. South of this is SH-66, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 12.231-acre tract of land (*i.e. Tracts 9, 10, & 10-01 of the W. M. Dalton Survey, Abstract No. 72*), which is currently occupied with a single-family home. Beyond this is a 22.27-acre tract of land (*i.e. Lots 1 & 2, Block A, DC Addition*), which consists of two (2) residential lots currently occupied with two (2) single-family homes. All three (3) of these tracts of land are zoned Agricultural (AG) District.

West: Directly west of the subject property is Phase 1 of the Terraces Subdivision, which is zoned Planned Development District 93 (PD-93) and consists of 181 single-family residential lots. Beyond this is a 15.935-acre tract of land (*i.e. Tract 5-1 of the M. B. Jones Survey, Abstract No. 122*) that is vacant and zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CONFORMANCE TO THE CITY’S CODES

The 15.561-acre subject property currently has three (3) existing single-family homes on four (4) tracts of land. The applicant has submitted a zoning exhibit showing that -- *if approved* -- the four (4) tracts of land will be reconfigured and subdivided to consist of eight (8) single-family residential lots that will range in size from 1.6296-acres to 2.8269-acres. To facilitate this request, the applicant is requesting the zoning be changed from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District. According to Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Single-Family Estate 1.5 (SFE-1.5) District is the proper zoning classification for rural, estate lots that are a minimum of 1½-acres in size. These lots are typically in areas that are located in the City’s hinterland, away from higher density residential developments and non-residential development.” In this case, Cornelius Road is primarily developed with larger tracts of residential or agricultural land. The only development that deviates from this land pattern is the Terraces Subdivision, which is currently under construction and is situated closer to John King Boulevard than the larger tracts of land along Cornelius Road. Based on this, the applicant’s request appears to conform to the purpose of the Single-Family Estate 1.5 (SFE-1.5) District and the existing land use patterns in the area. According to the *Residential District Development Standards* contained in Article 05, *District Development Standards*, of the Unified Development Code (UDC), the following is a summary of the density and dimensional requirements for the Single-Family Estate 1.5 (SFE-1.5) District:

TABLE 1: SINGLE -FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT STANDARDS

DWELLING UNITS/LOT	1.0
DWELLING UNITS/ACRE	0.67
MINIMUM DWELLING UNIT SIZE	2,000
MINIMUM LOT AREA	65,340 SF
MINIMUM LOT WIDTH ⁽¹⁾	150'
MINIMUM LOT DEPTH	250'
MINIMUM FRONT YARD SETBACK	50'
MINIMUM SIDE YARD SETBACK ⁽²⁾	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM BETWEEN BUILDINGS	10'
MAXIMUM BUILDING HEIGHT	36'
MAXIMUM LOT COVERAGE	35.00%
MINIMUM REQUIRED PARKING SPACES ^{(3) & (4)}	2

NOTES:

- 1: FRONTAGE ON A PUBLIC STREET
- 2: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 3: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 4: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS.

For the City Council’s reference, staff has included a list of all of the *Permissible Land Uses* for the Single-Family Estate 1.5 (SFE-1.5) District as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) in the attached packet.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Low Density Residential land uses. According to the *District Description*, the Northeast Residential District is a district that is “...characterized by its established low-density residential subdivisions and rural/estate style lots.” As previously stated, the majority of properties along Cornelius Road are larger tracts of land with single-family homes or that are being utilized for agricultural purposes. This appears to conform to the *District Strategies* for this district, which encourage “(t)he maintenance of the *Estate and Rural Residential* housing types ... [as being] important to balancing the diversity of suburban lots to large lot housing within the City.” The applicant’s request also appears to conform to this strategy being a request for a zoning district that requires a minimum of 1½-acre lots. In addition, the *Land Use Plan* defines the Low Density Residential land use as a “...land use category [that] consists of residential subdivisions that are two (2) units per gross acre or less ...” In this case, the applicant is requesting a density of 0.67 dwelling units per acre. Based on this, the applicant’s request appears to be in substantial conformance with the OURHometown Vision 2040 Comprehensive Plan.

INFRASTRUCTURE

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for the development of the subject property:

- (1) Roadways. At the time of subdivision plat, the developer shall be required to verify and dedicate the right-of-way for Cornelius Road in accordance with the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.
- (2) Water. A 12-inch waterline is required in the 20' Drainage and Utility Easement in Lots 2 & 3 as shown on the zoning exhibit. In addition, this line will need to be extended across the frontage of Lots 3-8 per the Master Water Plan contained in the OURHometown Vision 2040 Comprehensive Plan. For Lots 1 & 2, an eight (8) inch water line will need to be extended from the 12-inch line to provide service and fire protection for these two (2) proposed parcels of land.
- (3) Wastewater. As part of this zoning request, the applicant is also requesting to utilize On-Site Sewage Facilities (OSSF) or septic systems for the five (5) newly proposed lots. The existing three (3) single-family homes currently situated on the subject property already have OSSF or septic systems. According to Section 44-243 of Chapter 44, *Utilities*, of the Municipal Code of Ordinances, "(n)o permit for an on-site sewage facility (OSSF) will be issued if the location is within 100-feet of an existing city sanitary sewer line unless an exception is granted by the City Council on the grounds that connection with the sanitary sewer is impossible ...", and "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property less than 1½-acre..." In this case, the sewer system for the Terraces Subdivision has not been accepted by the City, and the proposed lines are more than 100-feet from the subject property. In addition, all of the proposed lots are greater than 1½-acre in size. Based on this, the proposed lots are eligible for On-Site Sewage Facilities (OSSF) or septic systems, and no further public hearing or approval is required.
- (4) Drainage. Detention will be required and need to be sized per *Manning's C-Value* for the zoning designation.

NOTIFICATIONS

On March 19, 2024, staff mailed 34 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received two (2) notices (*i.e. one [1] in favor and one [1] opposed to the applicant's request*); however, both notices were from property situated in the City Extraterritorial Jurisdiction (ETJ). These have been included in the attached packet.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On April 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the zoning change by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	333 Cornelius Road		
SUBDIVISION	M.B. Jones Survey, Abstract No. 122	LOT	BLOCK
GENERAL LOCATION	Approximately 1250 ft east of the intersection John King & FM 1141 South of 1141		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-93	CURRENT USE	
PROPOSED ZONING	SFE-1.5	PROPOSED USE	Single Family
ACREAGE	15.561	LOTS [CURRENT]	4
		LOTS [PROPOSED]	8

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Mike Peoples	<input checked="" type="checkbox"/> APPLICANT	Michael Joyce Properties
CONTACT PERSON	Mike Peoples	CONTACT PERSON	Ryan Joyce
ADDRESS	PO Box 41	ADDRESS	767 Justin Road
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	512-965-6280
E-MAIL		E-MAIL	ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Mike Peoples [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

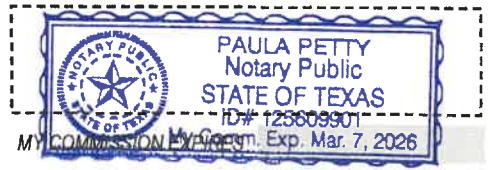
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 433.42 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8th DAY OF March, 2021. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

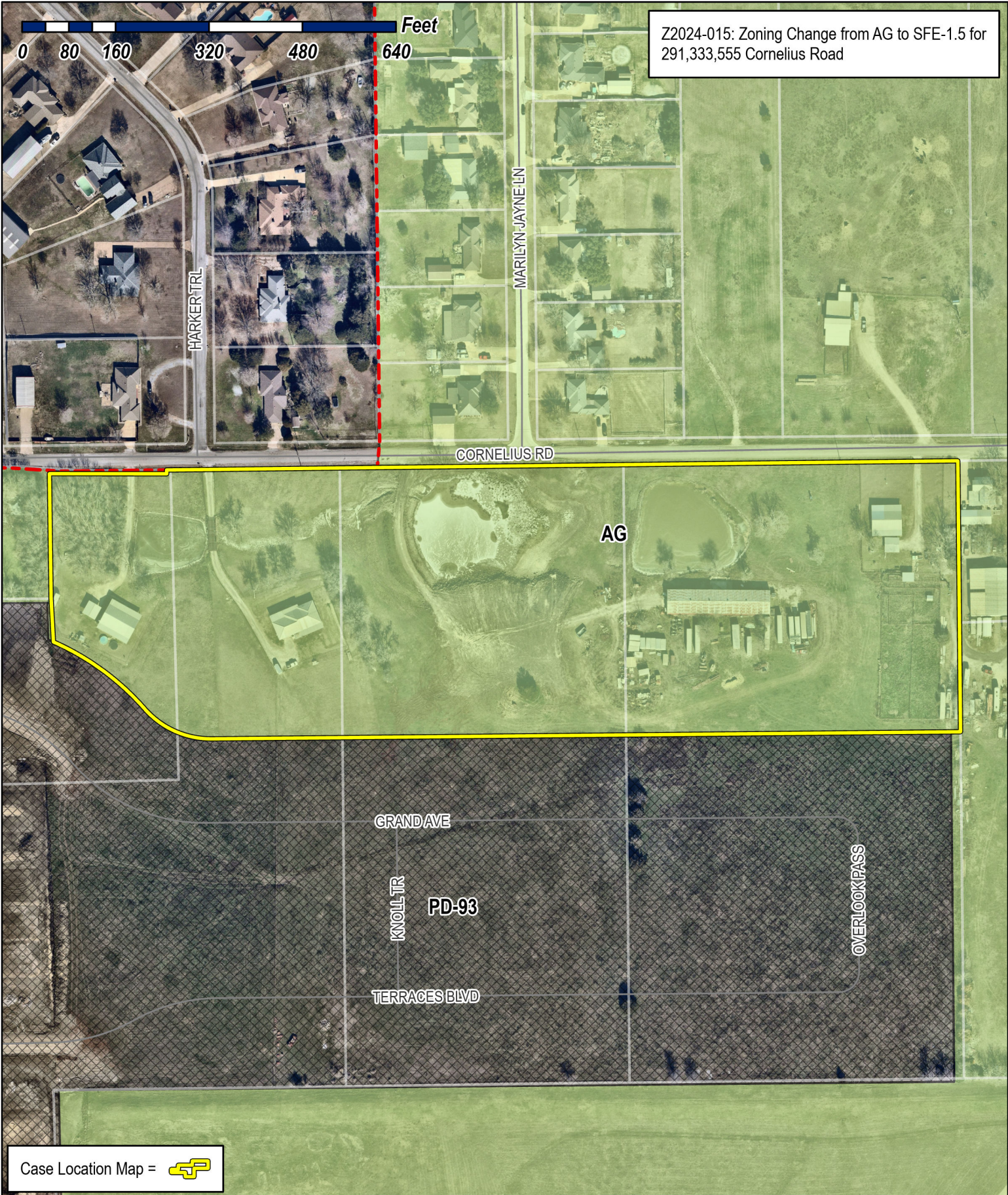
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th DAY OF March, 2021

OWNER'S SIGNATURE

Mike Peoples
Paula Petty

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

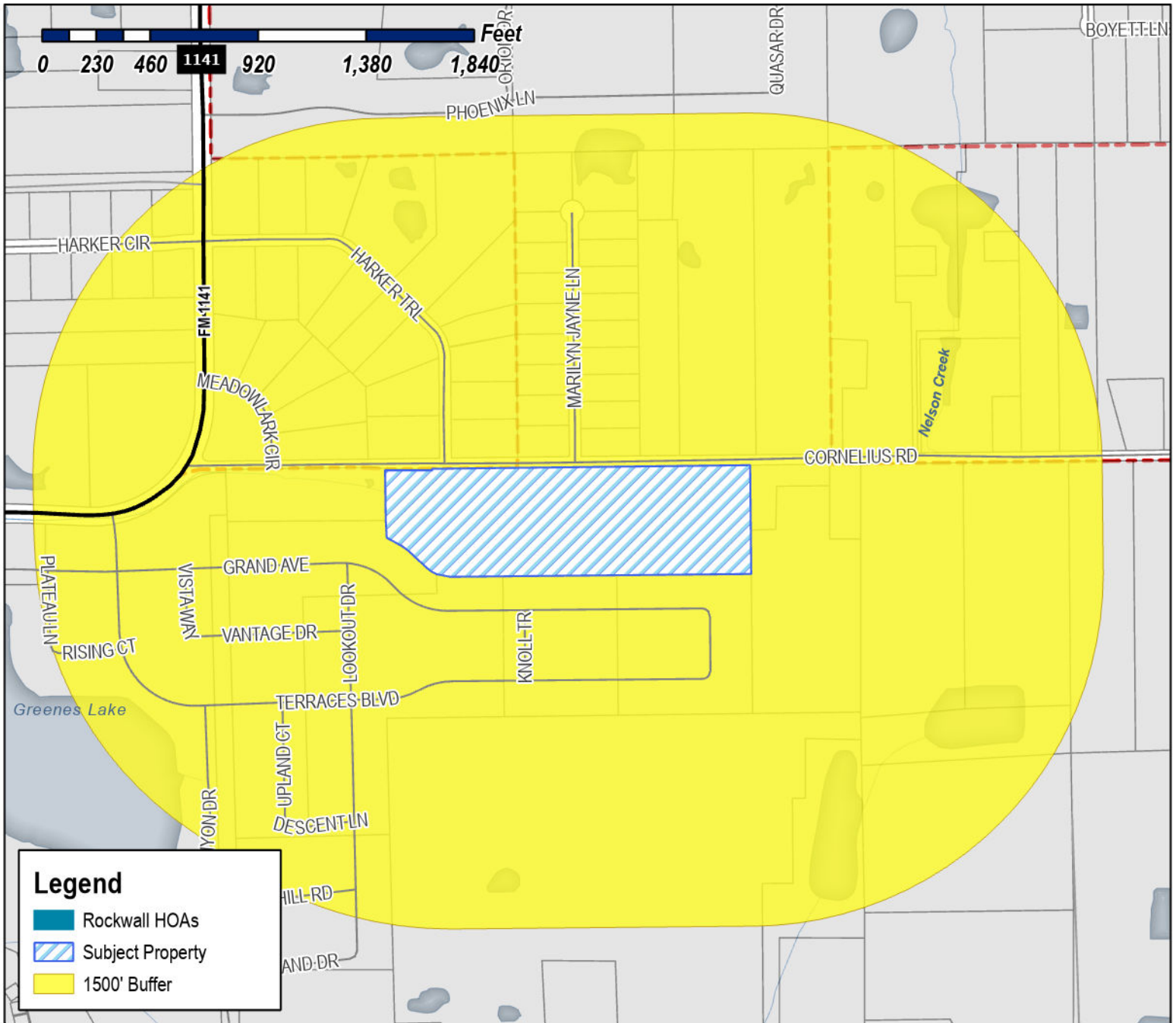




City of Rockwall

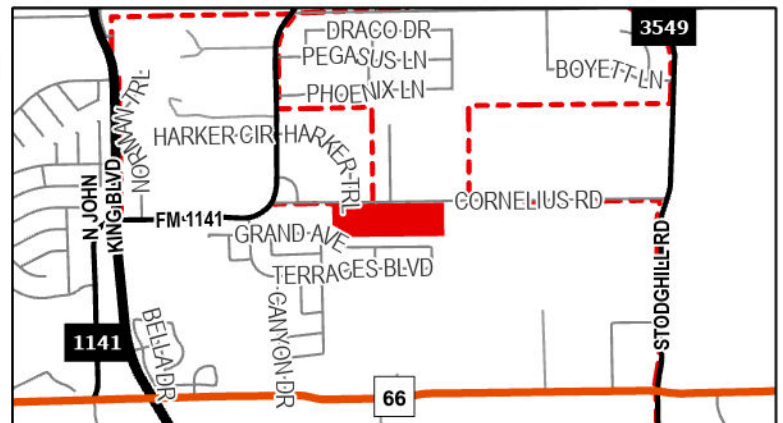
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Case Number: Z2024-015
Case Name: Zoning Change from AG to SFE 1.5
Case Type: for 291, 333, 555 Cornelius Road Zoning
Zoning: Agricultural (AG) District
Case Address: 333 Cornelius Road

Date Saved: 3/15/2024
 For Questions on this Case Call (972) 771-7745

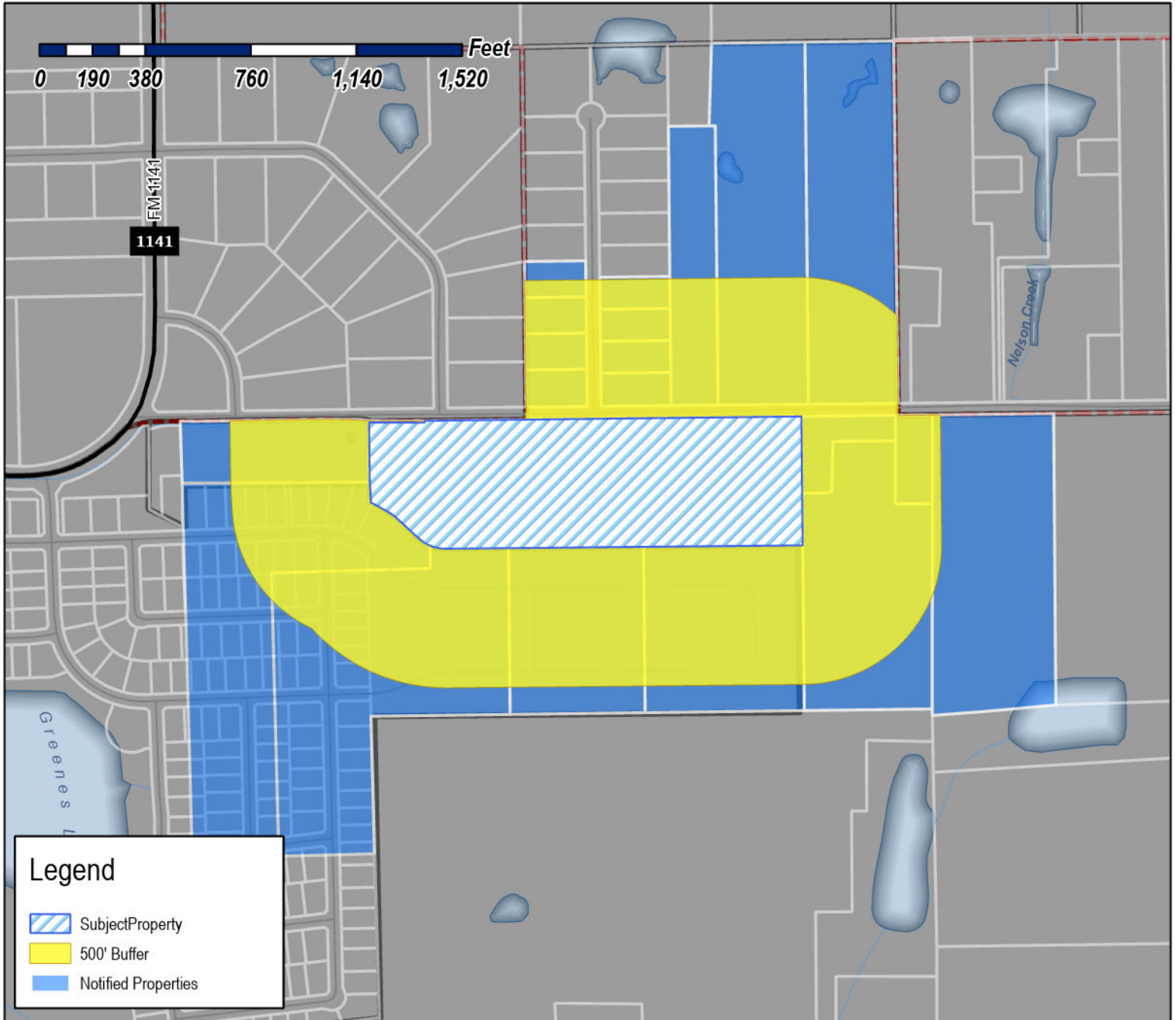




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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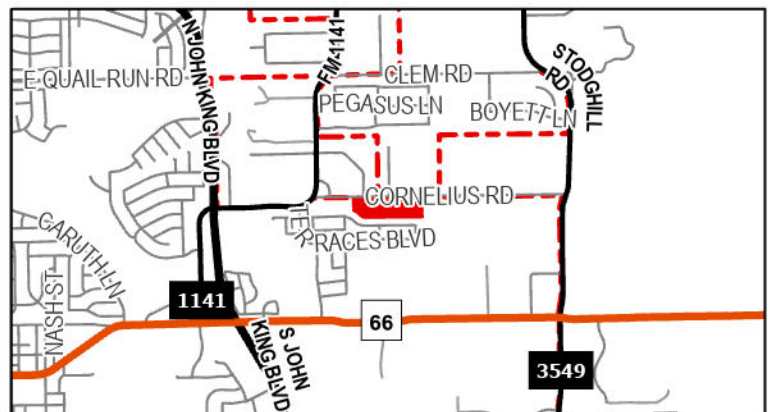
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Case Number: Z2024-015
Case Name: Zoning Change from AG to SFE 1.5 for 291, 333, 555 Cornelius Road
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 333 Cornelius Road

Date Saved: 3/25/2024

For Questions on this Case Call: (972) 771-7745



THOMAS STEPHEN R & SHARON C
1200 MARILYN JAYNE DR
ROCKWALL, TX 75087

RANDY AND KAY WILSON REVOCABLE TRUST
RANDY SCOTT WILSON AND KAY MARIE
WILSON- CO TRUSTEES
1201 MARILYN JAYNE
ROCKWALL, TX 75087

JAMES BRIAN & KIMBERLY
1202 MARILYN JAYNE DR
ROCKWALL, TX 75087

SMITH DANIEL T
1203 MARILYN JAYNE DR
ROCKWALL, TX 75087

WALKER GRACIE & LEON
1204 MARILYN JAYNE DR
ROCKWALL, TX 75087

JAMES DAVID L
1205 MARILYN JAYNE DRIVE
ROCKWALL, TX 75087

COOK ROBERT M ETUX
1206 MARILYN JAYNE DR
ROCKWALL, TX 75087

CANTRELL CARL DEAN
1207 MARILYN JAYNE DR
ROCKWALL, TX 75087

RATLIFF JENNIFER L
123 HARKER TRAIL
ROCKWALL, TX 75087

ANDRULAT ALEC J AND VERONICA BITZ
124 HARKER TR
ROCKWALL, TX 75087

MCKEE MARK D
131 MEADOWLARK CIR
ROCKWALL, TX 75087

LAWRENCE JAMES CHRISTOPHER
151 HARKER TRAIL
ROCKWALL, TX 75087

SINGH GAGANPREET K AND PAWANPREET
151 STEVENSON DR
FATE, TX 75087

KING NATALIE
153 MEADOWLARK CIRCLE
ROCKWALL, TX 75087

SHANNON STANLEY W
162 HARKER TRL
ROCKWALL, TX 75087

SOSTA ARLENE
171 HARKER TRL
ROCKWALL, TX 75087

FORTNER NATHAN
218 HARKER TRAIL
ROCKWALL, TX 75087

RESIDENT
219 CORNELIUS RD
ROCKWALL, TX 75087

RANDLE SUSAN AND DERRICE
226 CORNELIUS RD
ROCKWALL, TX 75087

WOOLARD JAMES R
252 HARKER TRL
ROCKWALL, TX 75087

RESIDENT
291 CORNELIUS RD
ROCKWALL, TX 75087

ROCKWALL RV PARK AND TINY HOME VILLAGE
3094 COUNTY ROAD 1024
FARMERSVILLE, TX 75442

RESIDENT
333 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
520 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
555 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
588 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES DONNIE
589 CORNELIUS
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA
628 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
657 CORNELIUS RD
ROCKWALL, TX 75087

PEWITT RONNY M AND JENNIFER L
668 CORNELIUS ROAD
ROCKWALL, TX 75087

PERKINS RALPH TRENT & AMY CAIN
701 CORNELIUS RD
ROCKWALL, TX 75087

RESIDENT
839 CORNELIUS RD
ROCKWALL, TX 75087

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-015: Zoning Change from AG to SFE-1.5

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-1, & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: SHARON SHANNON

Address: 102 HARKER TRAIL

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2024-015: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below. STRONGLY OPPOSED

Because the change in zoning COMPLETELY changes the character of the neighborhood. We moved to the area years ago because we love the semi-rural character.

Name: James + Aundria Woolard

Address: 252 Hurker Trl, Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



767 Justin Rd
Rockwall, TX 75087

April 2, 2024

Mr. Ryan Miller
City of Rockwall
Director of Planning
385 S. Goliad
Rockwall, TX 75087

RE: Zoning Case Z2024-015 | Peoples Property

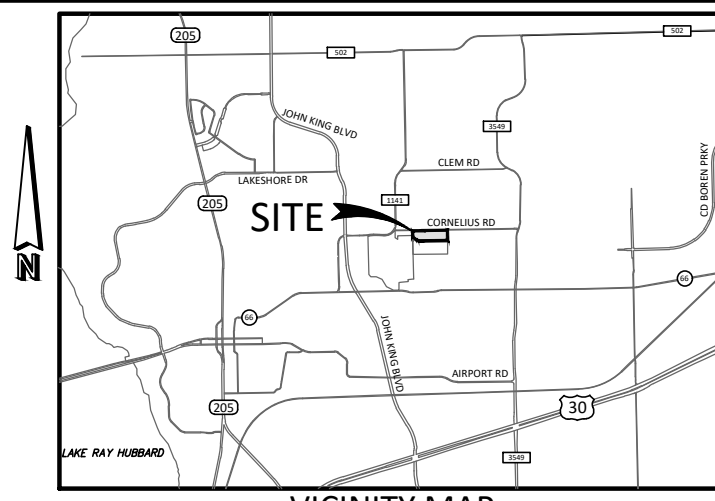
Dear Mr. Miller,

In relation to City of Rockwall Zoning Case Z2024-015 we would like to request that the zoning allow for On Site Sewer Treatment Facilities (OSSF) be allowed for this addition to the City. Part of the property includes 3 existing homes that are currently utilizing OSSF for their waste water treatment. Additionally these lots would sit below the grade of the homes in Terraces Phase 2. With the creations of these lots, the OSSF seems a better fit than a lift station and or pump stations for each individual home to get back up stream to the Terraces Phase 2 sanitary system.

Sincerely,

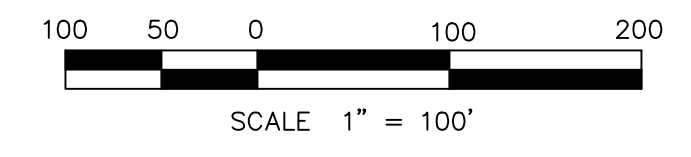
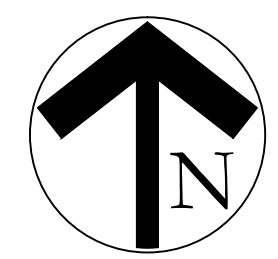


Michale Ryan Joyce
President
MRJoyce, LLC
dba Michael Joyce Properties



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
SE Sidewalk Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



**FINAL PLAT
PEOPLES TRACT**

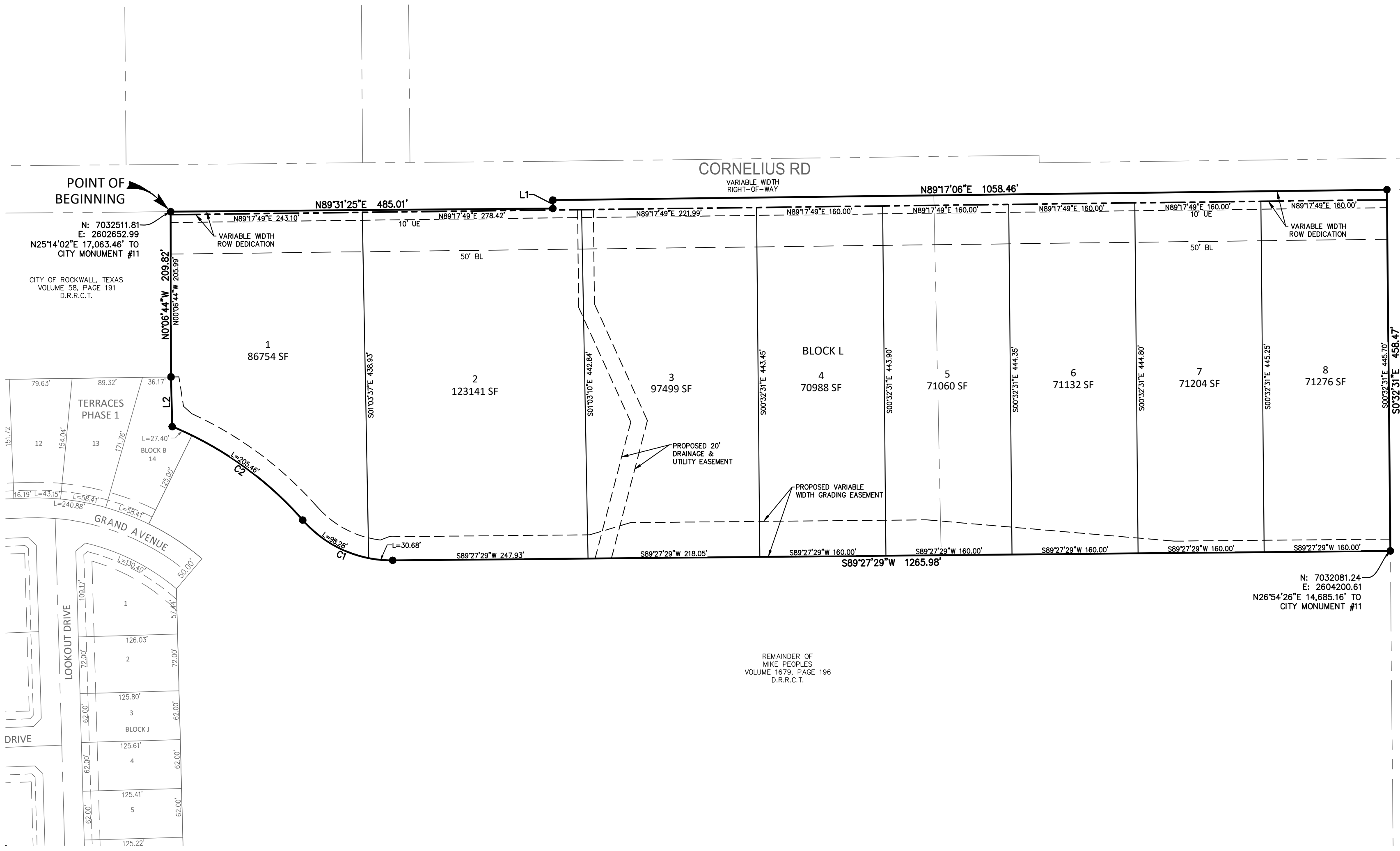
LOTS 1-8 BLOCK L;
15.561 ACRES OR 677,846 SQ. FT.
8 SINGLE FAMILY LOTS
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
AND ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2024-XXX

March 5, 2024
EXIST. ZONING: PD-93
LAND USE: SF-1.5
SHEET 1 OF 2

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Owner/Applicant:
MR JOYCE, LLC
4416 W. Lovers Ln, Suite 200
Dallas, Texas 75209
Phone: 214-577-1431

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES. DIRECTION FOR CONTROL ESTABLISHED THROUGH <CM1> AND <CM2> HAVING A BEARING AND DISTANCE OF S29°53'54"E, 2,758.60'.
 - LOCATION OF 1% ANNUAL FLOOD CHANGE ESTIMATED FROM FEMA FIRM PANEL 48139C0325F DATED JUNE 3, 2013.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.
 - PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
 - ALL OPEN SPACE, PARKS & GREEN BELTS SHALL BE PRIVATE AND MAINTAINED, REPLACED AND REPAIRED BY HOA/PROPERTY OWNER.
 - ALL NON-STANDARD SIGNS, LIGHTS, AND HARDWARE ARE TO BE MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER OR HOA.

Line Table

Line	Length	Direction
L1	10.64	N0° 28' 35"W
L2	63.06	N1° 28' 22"W

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	128.96	150.00	049°15'27"	125.02	N65° 54' 48"W
C2	205.46	450.00	026°09'34"	203.68	N54° 21' 52"W

REMAINDER OF
MIKE PEOPLES
VOLUME 1679, PAGE 196
D.R.R.C.T.

LEGAL DESCRIPTION:

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C.T.) same being the northwest corner of the tract of land described herein;

THENCE, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01 feet to a point for a corner of this tract;

THENCE, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64 feet to a point for a corner of this tract;

THENCE, North 89 degrees 17 minutes 06 seconds East, a distance of 1058.46 feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C.T.) and being the common northeast corner of this tract;

THENCE, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47 feet to a point for the southeast corner of this tract;

THENCE, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1265.98 feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00 feet, and a long chord bearing and distance of North 65degrees 54minutes 48seconds West, 125.02 feet;

THENCE, with said curve to the right an arc distance of 128.96 feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00 feet, and a long chord bearing and distance of North 54degrees 21minutes 52seconds West, 203.68 feet;

THENCE, with said curve to the left an arc distance of 205.46 feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in Document Number 2024000000459 Plat Records Rockwall County, Texas for the most westerly southwest corner of this tract;

THENCE, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06 feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82 feet to the POINT OF BEGINNING and containing 677,846 square feet or 15.561 acres of land.

OWNER'S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PEOPLES TRACT subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PEOPLES TRACT subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of these respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Signature _____
Name _____
Title _____

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared _____, of MR JOYCE, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Ryan S. Reynolds, known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal of office, this ____ day of _____, 2024.

Notary public for and in the State of Texas

My commission expires: _____

Planning & Zoning Commission, Chairperson

Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas be approved by the City Council of the City of Rockwall on ____ day of _____, 2024.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of approval.

WITNESS OUR HANDS, this ____ day of _____, 2024.

Mayor, City of Rockwall

City Secretary

City Engineer

**FINAL PLAT
PEOPLES TRACT**

LOTS 1-8 BLOCK L;
15.561 ACRES OR 677,846 SQ. FT.
8 SINGLE FAMILY LOTS
SITUATED WITHIN A PORTION OF TRACTS 25-1, 26,
AND ALL OF TRACT 13 & 25 OF THE
WILLIAM DALTON SURVEY, ABSTRACT NO. 72
AND TRACT 4 & 4-01 OF THE
M.B. JONES SURVEY, ABSTRACT NO. 122
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2024-XXX

March 5, 2024
EXIST. ZONING: PD-93
LAND USE: SF-1.5
SHEET 2 OF 2

Owner/Applicant:
MR JOYCE, LLC
4416 W. Lovers Ln, Suite 200
Dallas, Texas 75209
Phone: 214-577-1431

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3100
Contact: Tom Dayton, PE



LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	SINGLE FAMILY ESTATE DISTRICTS
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel with Outside Pens	(2)	(1)	S
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Commercial Horse Corral or Stable	(9)	(5)	S
Private Horse Corral or Stable	(10)	(6)	P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
Wholesale Nursery (<i>i.e. without Retail Sale On-Site</i>)	(13)		S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Bed and Breakfast	(2)	(2)	S
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY ESTATE DISTRICTS
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S



SUBSECTION 07.01: RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

ZONING DISTRICTS → DEVELOPMENT STANDARDS ↓		SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT	SINGLE FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT	SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT	SINGLE-FAMILY 1 (SF-1) DISTRICT	SINGLE-FAMILY 16 (SF-16) DISTRICT	SINGLE-FAMILY 10 (SF-10) DISTRICT	SINGLE-FAMILY 8.4 (SF-8.4) DISTRICT	SINGLE-FAMILY 7 (SF-7) DISTRICT	ZERO LOT LINE (ZL-5) DISTRICT	TWO-FAMILY (2F) DISTRICT	AGRICULTURAL (AG) DISTRICT
ABBREVIATION		SFE-1.5	SFE-2.0	SFE-4.0	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	AG
DWELLING UNITS/LOT		1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	2.0	1.0
DWELLING UNITS/ACRE		0.67	0.5	0.25	1.0 ¹	2.7	4.4	5.2	6.2	8.7	12.4	0.1 ¹¹
MINIMUM DWELLING UNIT (SF)		2,000	2,200	2,500	2,500	2,400	2,200	1,500	1,100	1,000	800	1,600
MINIMUM LOT REQUIREMENTS	AREA (SQUARE FEET)	65,340	87,120	174,240	8,400	16,000	10,000	8,400	7,000	5,000	7,000	43,560
	WIDTH (FEET) ²	150	150	200	70	90	80	70	60	50	60	100
	DEPTH (FEET)	250	250	250	100	100	100	100	100	90	100	200
MINIMUM SETBACKS	FRONT (FEET)	50	50	50	20	25	20	20	20	20	20	40
	REAR (FEET)	10	10	10	10	10	10	10	10	10	10	10
	SIDE (FEET) ³	25	25	25	6	8	6	6	6	0 10 ⁴	0 ⁵ 6 ⁶	6
BETWEEN BUILDINGS (FEET)		10	10	10	10	10	10	10	10	10	10	12
BUILDING HEIGHT (FEET)		36	36	36	36	36	36	36	32	30	32	36
MAXIMUM LOT COVERAGE (%)		35	35	35	45	45	45	45	45	50	45	N/A
REQUIRED PARKING SPACES ⁷		2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁸	2 ⁹	2 ¹⁰	2 ⁸

ADDITIONAL REQUIREMENTS:

- 1: THE SINGLE FAMILY 1 (SF-1) DISTRICT ALLOWS FOR ONE (1) UNIT PER GROSS ACRE.
- 2: FRONTAGE ON A PUBLIC STREET
- 3: THE SIDE SETBACK ADJACENT TO A STREET IS TREATED THE SAME AS A FRONT YARD BUILDING SETBACK.
- 4: MINIMUM MAINTENANCE EASEMENT IS TEN (10) FEET. MINIMUM MAINTENANCE EASEMENT ON THE NON-ZERO LOT LINE SIDE, WHEN ADJACENT TO ANOTHER LOT IN THE SAME ZONING DISTRICT IS FIVE (5) FEET (THIS EASEMENT SHALL BE MAINTAINED AS AN OPEN SPACE EXCEPT UPON A FINDING BY THE BUILDING OFFICIAL THAT THE PROPOSED IMPROVEMENTS DO NOT IMPEDE THE USE OF SAID EASEMENT FOR MAINTENANCE OF THE ADJOINING STRUCTURE).
- 5: ABUTTING STRUCTURES SEPARATED BY FIRE RETARDANT WALLS.
- 6: TOWNHOUSES SEPARATED BY FIREWALL MEETING THE REQUIREMENTS OF THE BUILDING CODE MAY BUILD TO THE PROPERTY LINE WHERE SUCH STRUCTURES ABUT.
- 7: MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM PUBLIC RIGHT-OF-WAY FOR REAR AND SIDE YARD IS 20-FEET.
- 8: AN ENCLOSED GARAGE SHALL NOT BE CONSIDERED IN MEETING THE OFF-STREET PARKING REQUIREMENTS. FOR ALL OTHER USES SEE ARTICLE 06, PARKING AND LOADING.
- 9: A TWO (2) CAR GARAGE IS REQUIRED.
- 10: TWO (2) OFF-STREET PARKING SPACES PLUS ONE (1) GARAGE PARKING SPACE FOR EACH DWELLING UNIT IS REQUIRED.
- 11: A MINIMUM LOT SIZE OF TEN (10) ACRES IS REQUIRED FOR THE CONSTRUCTION OF ANY SINGLE-FAMILY DWELLING.

11 NORTHEAST RESIDENTIAL DISTRICT

↑ NORTHERN ESTATES DISTRICT (PAGE 1-24)

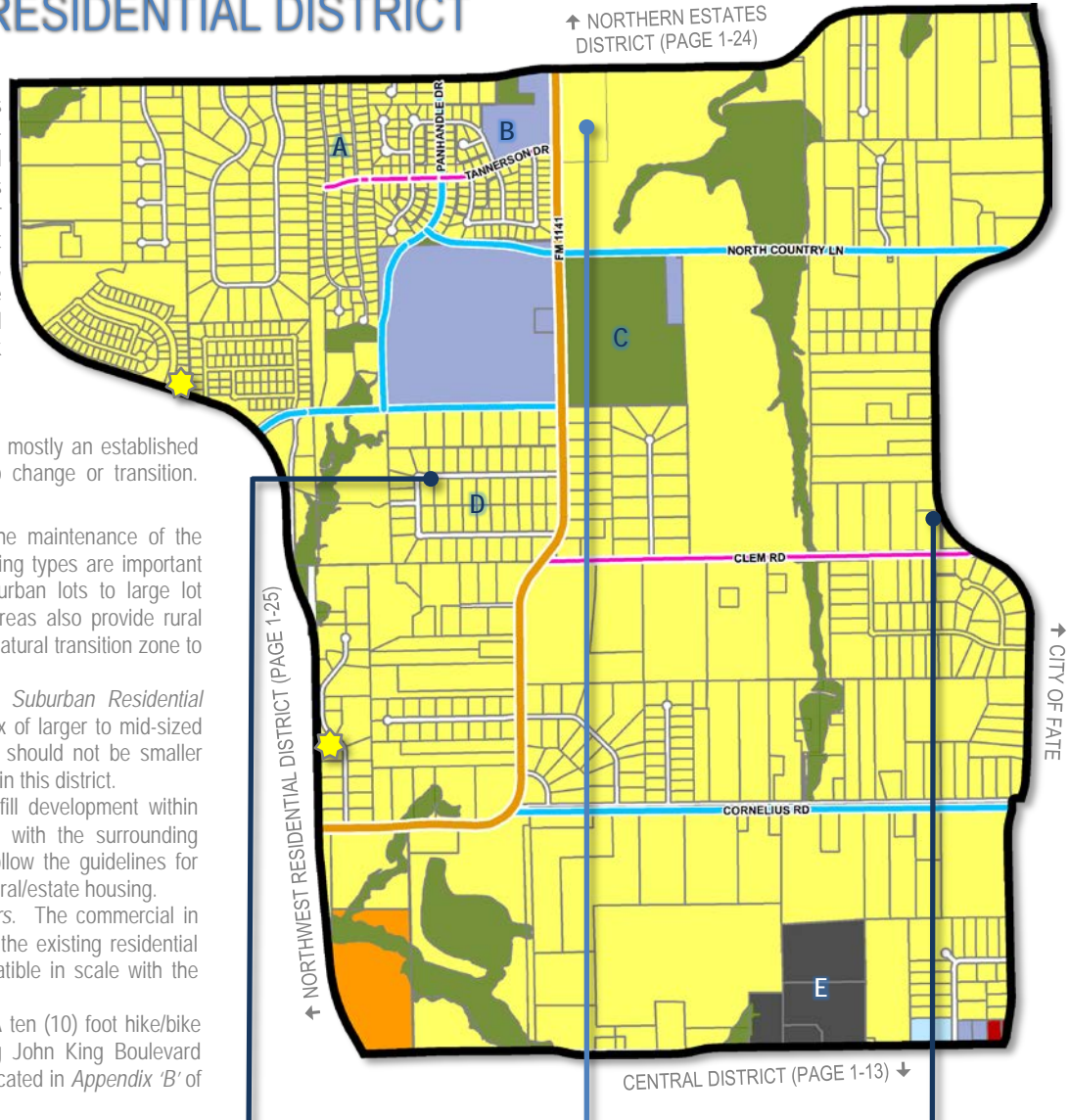
DISTRICT DESCRIPTION

The *Northeast Residential District* is characterized by its established low-density residential subdivisions and rural/estate style lots. This district is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development. In addition, the City currently owns a large tract of land that will be a northern community park and serve this district in the future.

DISTRICT STRATEGIES

The *Northeast Residential District* being mostly an established residential district, is not anticipated to change or transition. The strategies for this district are:

- 1 **Estate and Rural Residential.** The maintenance of the *Estate and Rural Residential* housing types are important to balancing the diversity of suburban lots to large lot housing within the City. These areas also provide rural reserves for the City and create a natural transition zone to the east, towards FM-3549.
- 2 **Suburban Residential.** Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district.
- 3 **Infill Development.** Residential infill development within this district should be compatible with the surrounding structures and should generally follow the guidelines for low density, suburban housing or rural/estate housing.
- 4 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.



POINTS OF REFERENCE

- A. Stoney Hollow Subdivision
- B. Celia Hays Elementary School
- C. North Country Lane Park
- D. Saddlebrook Estates Subdivision
- E. Resthaven Funeral Home

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

BUILD OUT
 1,964
 5,794

% OF ROCKWALL
 3.13%
 0.99%
 3.10%

CURRENT
 625
 18
 1,844



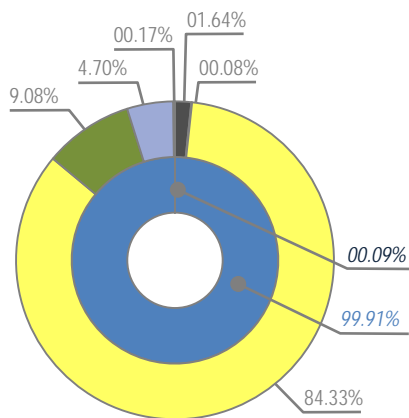
2 Current Suburban Residential



2 Future Suburban Residential



1 Current Rural Residential



■ MINOR COLLECTOR	0.09%
■ M4U	99.91%
■ M4D	0.00%
■ CEMETERY (CEM)	32.34-ACRES
■ COMMERCIAL/RETAIL (CR)	1.52-ACRES
■ LOW DENSITY RESIDENTIAL (LDR)	1,658.33-ACRES
■ PARKS AND OPEN SPACE (OS)	178.54-ACRES
■ PUBLIC (P)	92.45-ACRES
■ QUASI-PUBLIC (QP)	3.25-ACRES

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT FOR A 15.561-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACTS 10-02, 10-03, 25-01 & 26 OF THE W. M. DALTON SURVEY, ABSTRACT NO. 72, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ryan Joyce of Michael Joyce Properties on behalf of Mike Peoples for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District for a 15.561-acre tract of land identified as a portion of Tracts 10-02, 10-03, 25-01 & 26 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 291, 333 & 555 Cornelius Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family Estate 1.5 (SFE-1.5) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family Estate 1.5 (SFE-1.5) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 03.01, *General Residential District Standards* and Section 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning

change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MAY, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 15, 2024

2nd Reading: May 6, 2024

Exhibit 'A'
Legal Description

BEING a tract of land situated in the William Dalton Survey, Abstract Number 72 Rockwall County, Texas and being portions of those tracts of land conveyed to Mike Peoples, according to the documents filed of record in Volume 1679, Page 190, Volume 1679, Page 196, Volume 173, Page 752 and Volume 184, Page 522, Deed Records Rockwall County, Texas (D.R.R.C. T.) and being more particularly described as follows:

BEGINNING at a point for the northeast corner of that tract of land conveyed to the City of Rockwall, Texas according to the document filed of record in Volume 58, Page 191, (D.R.R.C. T.) same being the northwest corner of the tract of land described herein;

THENCE, North 89 degrees 31 minutes 25 seconds East, a distance of 485.01-feet to a point for a corner of this tract;

THENCE, North 00 degrees 28 minutes 35 seconds West, a distance of 10.64-feet to a point for a corner of this tract;

THENCE, North 89 degrees 17 minutes 06 seconds East, a distance of 1,058.46-feet to a point for the northwest corner of that tract of land conveyed to Donnie Peoples according to the document filed of record in Volume 188, Page 357 (D.R.R.C. T.) and being the common northeast corner of this tract;

THENCE, South 00 degrees 32 minutes 31 seconds East, with the west line of said Donnie Peoples tract, same being common with the east line of this tract, a distance of 458.47-feet to a point for the southeast corner of this tract;

THENCE, South 89 degrees 27 minutes 29 seconds West, leaving said common line, a distance of 1,265.98-feet to a point for a corner of this tract and being the beginning of a curve to the right, having a central angle of 49° 15' 27", a radius of 150.00-feet, and a long chord bearing and distance of North 65 degrees 54 minutes 48 seconds West, 125.02-feet;

THENCE, with said curve to the right an arc distance of 128.96-feet to a point for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 26° 09' 34", a radius of 450.00-feet, and a long chord bearing and distance of North 54 degrees 21 minutes 52 seconds West, 203.68-feet;

THENCE, with said curve to the left an arc distance of 205.46-feet to a point in the east line of Terraces Phase One, an addition to the City of Rockwall, Rockwall County, Texas according to the plat filed of record in *Document Number 2024000000459 Plat Records* Rockwall County, Texas for the most westerly southwest corner of this tract;

THENCE, North 01 degrees 28 minutes 22 seconds West, with said east line, a distance of 63.06-feet to a point for the northeast corner of said addition, same being the common southeast corner of the above-mentioned City of Rockwall tract and a common corner of this tract;

THENCE North 00 degrees 06 minutes 44 seconds West, with the east line of said City of Rockwall tract and common west line of this tract, a distance of 209.82-feet to the **POINT OF BEGINNING** and containing 677,846 square feet or 15.561-acres of land.



Rockwall County 2050

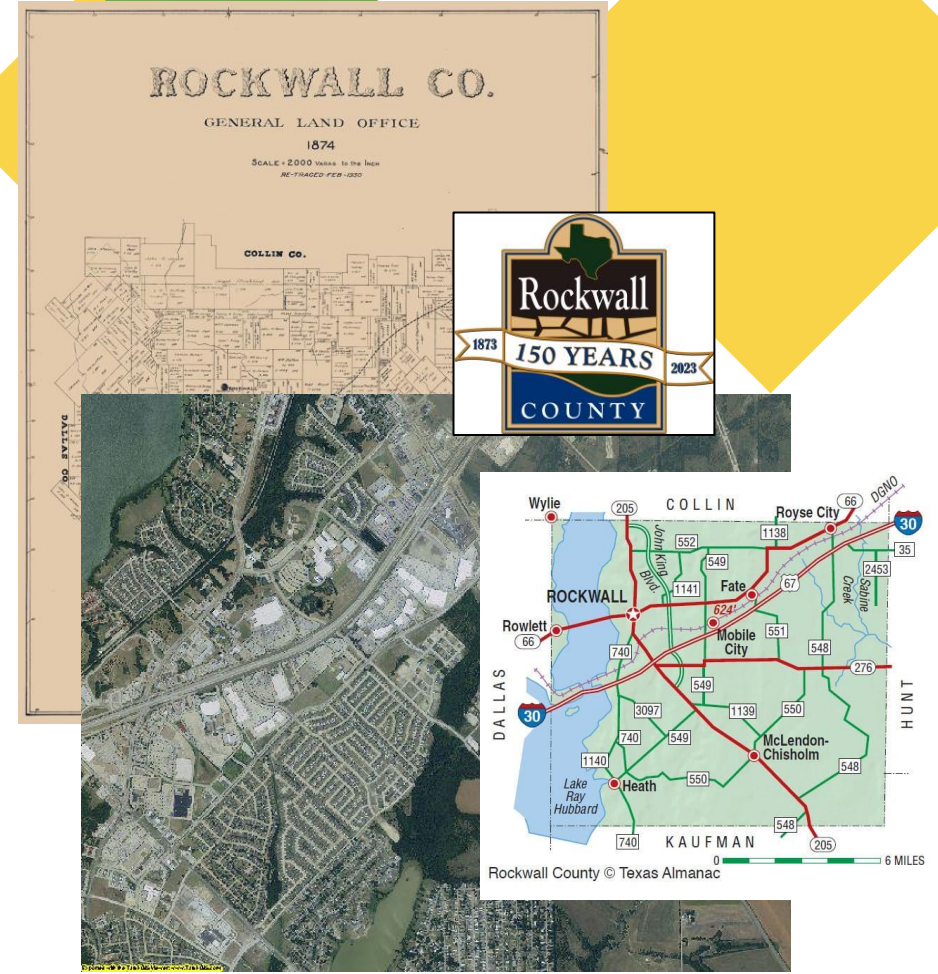
-- *Protecting Our Future* --





What is a Strategic Plan?

- Envisioning the future...defines Rockwall County & the quality of life we want to create for future generations
- Creates an on-going plan to guide Commissioners Court actions and leadership
- Describes sustainable growth...based on who we are, where we came from, and where we want to be in 2050
- Requires strong community involvement and participation...*"out of many, one"*





- ❑ Focusing on the Priorities
- ❑ Action Plan
- ❑ Ensuring the County's Quality of Life

Topics:

- Regional & Community Design
- Land Use & Open Spaces
- Transportation & Mobility
- Community Facilities & Services
- Environmental Factors & Sustainability
- Public Safety & Healthcare
- Economic Development
- Education
- Non-Profits
- Housing & Infrastructure
- Historical Preservation

Our Goal: Build a Plan to Guide Actions that Protect our County's Quality of Life



Project Overview

- ***15-month process:*** February 2024-April 2025
- ***Consultant Project Team:*** Baker Tilly and Freese & Nichols
- ***Community Stakeholders:*** Rockwall County and City Officials, Community Leaders and the Public
 - Community Steering Committee (CSC)
- ***Process:*** Data Gathering, Public Workshops, County Government/CSC Work Sessions, and Website resulting in a Written Plan



Public Workshops



Economic Development	May 14 th
Regional & Community Design Transportation & Mobility Housing & Infrastructure	May 23 rd
Environmental Factors & Sustainability Land Use & Open Spaces Historical Preservation	June 4 th
Education & Non-Profits	June 11 th
Public Safety & Healthcare	June 20 th
Community Facilities, Services and Leisure Activities	June 27 th

All sessions will be held at Liberty Hall in the County Court House from 5:00-7:00 PM

Internal Stakeholder Engagement



- Tuesday – Thursday, June 4 - 6
- 45-minute one-on-one or group interviews, Chris Lynch will coordinate
- Involves:
 - County leadership and supporting staff
 - County Strategic Plan Steering Group
- Discuss future organizational, operational, financial, service delivery or other issues of Rockwall County operations
- Current and future state of the county



Thank you

SIGN UP ON-LINE TO PARTICIPATE

Dana K Macalik
Rockwall County Commissioner

972-204-6020

dmacalik@rockwallcountytexas.com

<https://www.rockwallcountytexas.com/1153/Rockwall-County-Strategic-Plan-2050>



City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council

CC: Mary Smith, City Manager
Joey Boyd, Assistant City Manager

THRU: Travis E. Sales, Director of Parks and Recreation

FROM: Park and Recreation Advisory Board as the Park Naming Committee

DATE: April 15, 2024

SUBJECT: 219 Cornelius Rd (Neighborhood Park Naming)

The Park and Recreation Advisory Board, serving in its capacity as the Park Naming Committee, recommends that the City of Rockwall name the 4 acre park development located within in the new Terraces subdivision “Greenes Lake Park.”

Neighborhood parks are routinely named after the subdivision in which they are located, but since the City already has a park named “The Park at Terracina,” we thought “The Park at Terraces” might cause confusion since it is so similar. The Park Naming Committee considered this and agreed, asking staff to provide some options that were more historical or based on land marks.

Staff provided several ideas for possible names, and “Greenes Lake Park” was the name of choice due to Greenes Lake being located within the subdivision and widely known. We felt this would make the park easily identifiable and easy to locate by park patrons.

As outlined in the Park, Recreation and Municipal Facilities Naming policy, the Park and Recreation Advisory Board is putting forth a recommendation that the City Council approve a resolution naming this park “Greenes Lake Park.” This recommendation passed at the April 2 board meeting by a vote of 6-0, with Board Member Jenny Kruger being absent.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. 24-04

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, NAMING CERTAIN 4 ACRES OF DEDICATED PARK LAND THE “GREENES LAKE PARK;” PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Chapter 30, Sec. 30-27(5) calls for the city’s Parks and Recreation Board to concern itself with any issue which may bear on the facilities and programs of the Parks and Recreation Department and provide such recommendations as it may deem appropriate to the city council and city staff; and

WHEREAS, the City’s “Park, Recreation, and Municipal Facilities Naming Policy” calls for the Park(s) (and Recreation) Board to act as a committee that will be responsible for recommending to the City Council a name for park land and recreation facilities; and

WHEREAS, in accordance with said policy, the Parks and Recreation Board, serving in the capacity of the Park Naming Committee, recently considered the naming of approximately 4 acres of dedicated park land located within the Terraces subdivision within the City of Rockwall; and

WHEREAS, the city’s Parks and Recreation Board reviewed naming options and voted 6 “in favor” with 1 absence to recommend that the City Council approve the naming of this dedicated park land.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THAT:

Section 1. the 4 acres of dedicated park land shown in “**EXHIBIT A**” of this resolution is hereby named the: “Greenes Lake Park;” and

Section 2. this resolution shall be in full force and effect from and after its passage and it is accordingly so resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THIS 15th day of APRIL, 2024.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

